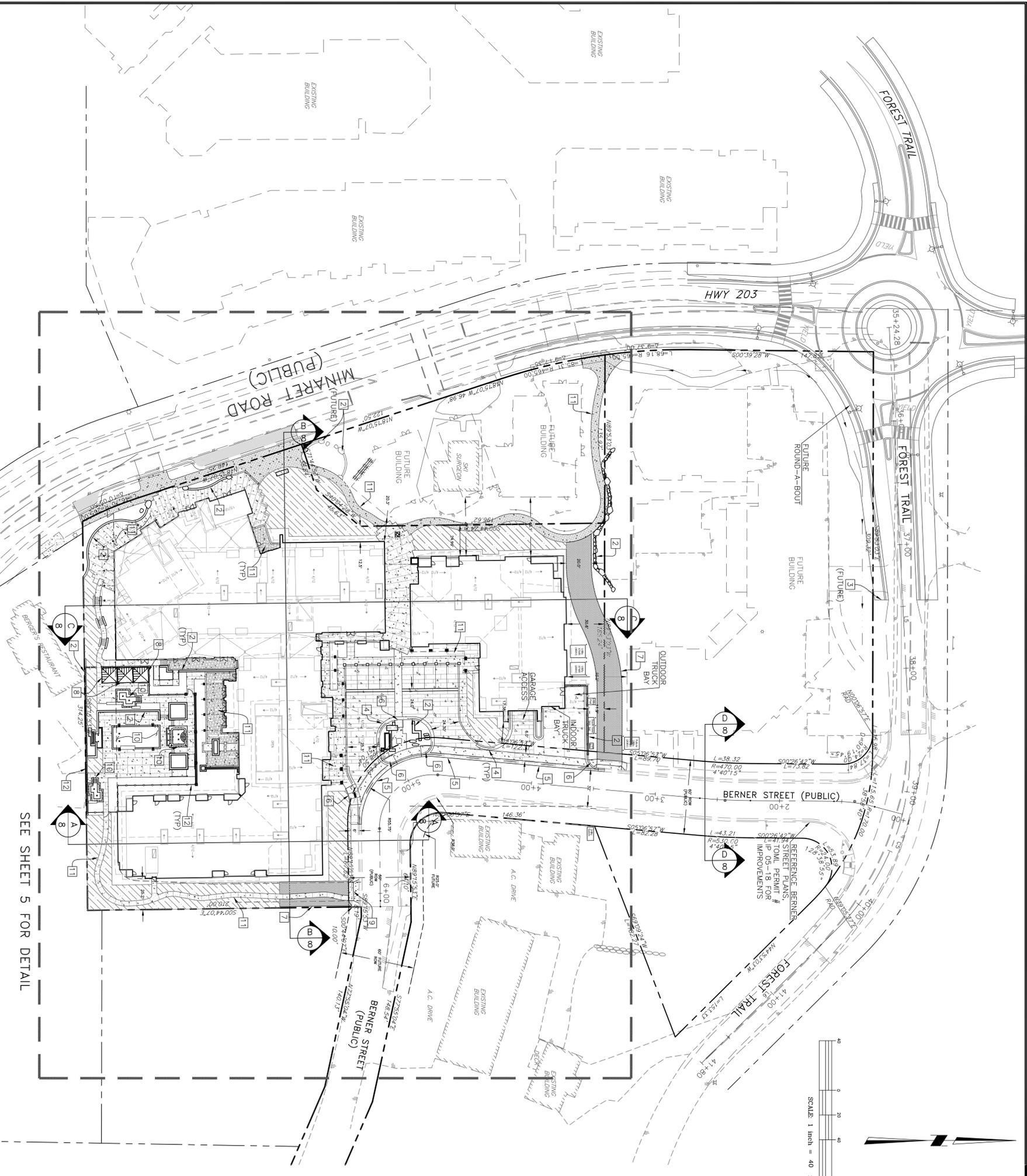


WARNING: ALL DIMENSIONS AND DIMENSIONS AS SHOWN ON THIS DRAWING ARE THE PROPERTY OF THE ENGINEER UNDER PROVISIONS OF THE PROFESSIONAL ENGINEERING ACT AND THE ENGINEER'S LICENSE. THE ENGINEER'S LICENSE IS NOT TO BE REPLIED ON AS BEING EXACT OR COMPLETE.



SEE SHEET 5 FOR DETAIL



CAUTION - NOTICE TO CONTRACTOR

1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND FEATURES AS SHOWN ON THESE PLANS IS BASED ON THE INFORMATION PROVIDED BY THE OWNER AND THE CONTRACTOR. THE CONTRACTOR SHALL VERIFY THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND FEATURES PRIOR TO BEGINNING CONSTRUCTION. SHOULD THE CONTRACTOR FIND ANY DISCREPANCIES BETWEEN THE INFORMATION PROVIDED BY THE OWNER AND THE CONTRACTOR, HE SHALL NOTIFY THE ENGINEER BEFORE PROCEEDING WITH CONSTRUCTION.

2. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THESE LOCATIONS AND/OR ELEVATIONS AT THE PROPOSED LOCATION PRIOR TO BEGINNING CONSTRUCTION. SHOULD THE CONTRACTOR FIND ANY DISCREPANCIES BETWEEN THE INFORMATION PROVIDED BY THE OWNER AND THE CONTRACTOR, HE SHALL NOTIFY THE ENGINEER BEFORE PROCEEDING WITH CONSTRUCTION.

3. IF SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REMOVE OR RELOCATE ALL EXISTING UTILITIES AND FEATURES WITHIN THE PROJECT BOUNDARIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN APPROVAL FROM THE GOVERNING AGENCIES, THE ENGINEER, AND THE UTILITY COMPANIES PRIOR TO SUCH REMOVAL AND/OR RELOCATION.

4. THE CONTRACTOR ASSUMES ALL RISK FOR ANY CONSTRUCTION WITH PRELIMINARY OR NON-APPROVED PLANS.

5. CONTRACTOR TO PROVIDE TRAFFIC CONTROL IN CONFORMANCE WITH THE LATEST EDITION OF MUTCD WHENEVER CONSTRUCTION IS IN PROGRESS WITHIN THE PUBLIC TRAVEL WAY.

GENERAL SITE NOTES:

1. PAVED AREAS:
 - PROPOSED P.C.C. CONCRETE ON-SITE (BROOM FINISH) (#28,249 SF).
 - PROPOSED P.C.C. CONCRETE OFF-SITE (BROOM FINISH) (#4,498 SF).
 - PROPOSED CURB AND GUTTER ON-SITE (#1,408 SF).
 - PROPOSED CURB AND GUTTER OFF-SITE (#865 SF).
2. SNOW STORAGE AREA ON-SITE:
 - AREAS REQUIRING SNOW REMOVAL ON-SITE: #29,875 SF
 - DEDUCT FOR AREAS WITH SNOW MELT: (#24,854 SF)
 - NET AREA REQUIRING SNOW REMOVAL: 5,021 SF
 - TOTAL SNOW STORAGE REQUIRED ON-SITE: (0.75 X 5,021 SF = #3,766 SF)
 - SNOW STORAGE AVAILABLE ON SITE: #12,491 SF.

NOTE: SNOW/ICE REMOVAL AND STORAGE SHALL BE IN ACCORDANCE WITH ITEM 20 ON PAGE 42 OF THE NORTH VILLAGE SPECIFIC PLAN

3. SITE COVERAGE:
 - PROPOSED SITE COVERAGE: #81,967 SF (INCLUDING BUILDINGS, SIDEWALKS, & DRIVEWAYS).
 - PERCENTAGE OF SITE COVERAGE: #81,967/110,139 = #74.4%
4. REFERENCE SHEET 10 FOR TREE IDENTIFICATION & ANALYSIS.
5. REFERENCE SHEETS 6 & 7 FOR GRADING & DRAINAGE INFORMATION.
6. REFERENCE SHEET 9 FOR UTILITY INFORMATION.
7. REFERENCE SHEET 2 OF TTM FOR PROPOSED EASEMENT INFORMATION.

SITE AND PAVING NOTES

- 1 5.5' P.C.C. VALLEY GUTTER.
- 2 CONCRETE OR ROCKSTACK LANDSCAPE REMAINING WALL (REFER TO GRADING PLAN OR LANDSCAPE PLAN).
- 3 6' P.C.C. SIDEWALK.
- 4 P.C.C. CONCRETE ROLLED CURB.
- 5A MODIFIED P.C.C. CONCRETE ROLLED CURB (OUTFALL).
- 5 3' LONGITUDINAL P.C.C. VALLEY GUTTER.
- 6 PEDESTRIAN RAMP.
- 7 FIRE ACCESS ROAD ("GRASSCRETTE" OR EQUAL).
- 8 CABANAS (REFER TO ARCHITECTURAL & LANDSCAPE PLANS).
- 9 DRIVEWAY PER TOLM STANDARDS.
- 10 POOL/SPA (REFER TO LANDSCAPE PLANS).
- 11 ARCHITECTURAL CONCRETE PAVING OR SIDEWALK (REFER TO LANDSCAPE PLANS).
- 12 6' HIGH FENCE (REFER TO LANDSCAPE PLANS FOR DETAIL).



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**SOUTH HOTEL - EAST VILLAGE
 OVERALL SITE PLAN**

MODIFIED USE PERMIT & TENTATIVE TRACT MAP
 MAMMOTH LAKES CALIFORNIA

cfa PLANNERS • ENGINEERS • LANDSCAPE ARCHITECTS
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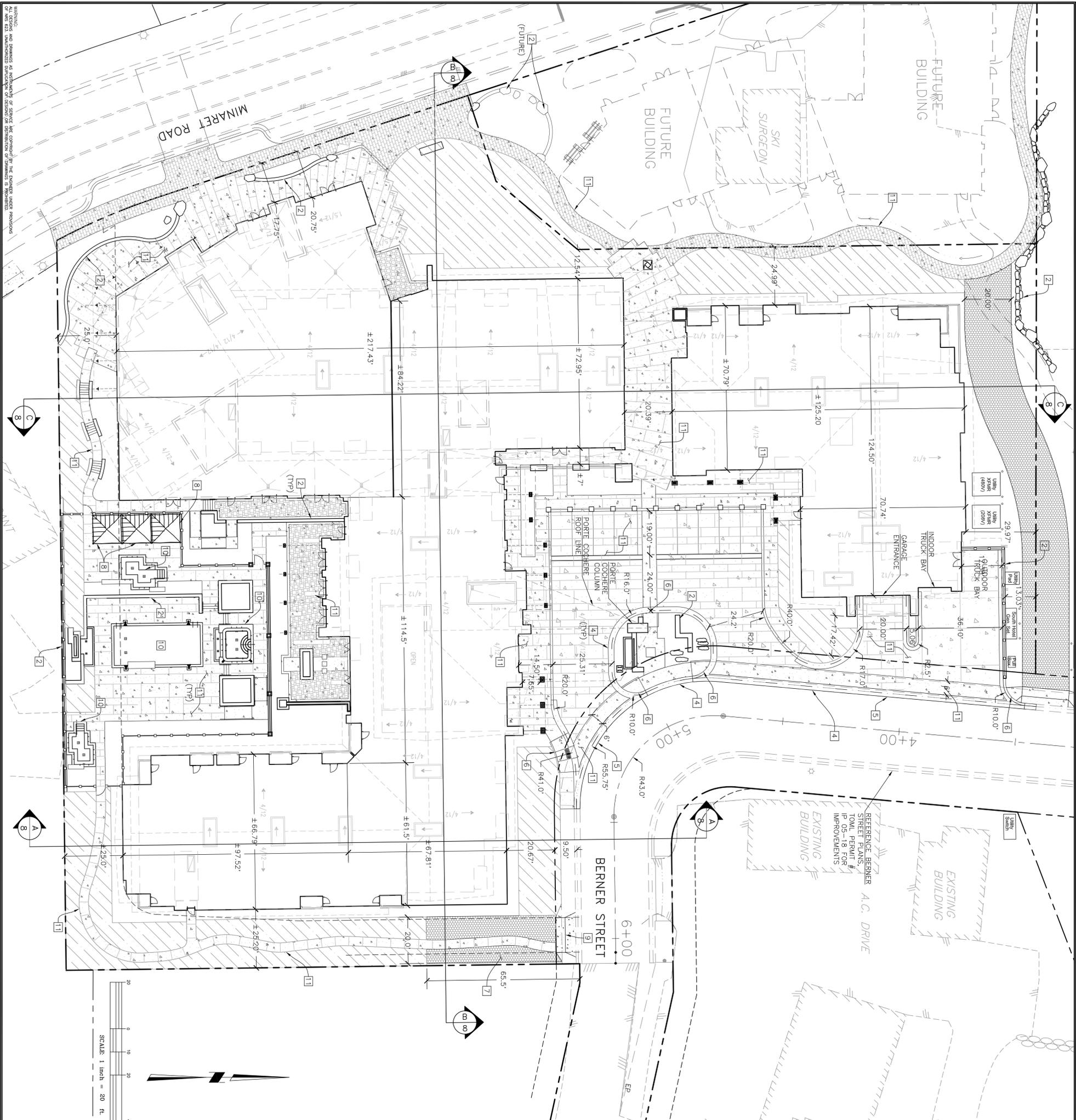
1150 CORPORATE BLVD. RENO, NV 89502
 (775) 856-1150 FAX: (775) 856-1160

STATUS OF PLANS	
<input checked="" type="checkbox"/> PRELIMINARY	DATE: 12/21/05
<input checked="" type="checkbox"/> INITIAL SUBMITTAL	DATE: 12/21/05
<input checked="" type="checkbox"/> FINAL SUBMITTAL	DATE: 08/11/06

PLANS ARE PRELIMINARY AND SUBJECT TO CHANGE UNTIL STAMPED AND SIGNED APPROVED BY ALL APPROPRIATE GOVERNING AGENCIES.

DATE	MARK	REVISIONS	BY

SHEET 4 OF 11



GENERAL SITE NOTES:

1. PAVED AREAS:
 [Symbol] PROPOSED P.C.C. CONCRETE (BROOM FINISH).
 [Symbol] ARCHITECTURAL CONCRETE.
 [Symbol] ARCHITECTURAL CONCRETE.
 [Symbol] ARCHITECTURAL CONCRETE.
 [Symbol] PROPOSED ASPHALT CONCRETE ROADWAY.
 [Symbol] PROPOSED EMERGENCY ACCESS ROAD.

2. SNOW STORAGE AREA:
 [Symbol] PERMANENT SNOW STORAGE AVAILABLE ON SITE.
 [Symbol] TEMPORARY SNOW STORAGE AVAILABLE ON SITE.
3. REFERENCE ARCHITECTURAL PLANS FOR BUILDING, LANDSCAPING, AND HARDSCAPE DETAIL.
 4. REFERENCE SHEET 10 FOR TREE IDENTIFICATION & ANALYSIS.
 5. REFERENCE SHEETS 6 & 7 FOR GRADING & DRAINAGE INFORMATION.
 6. REFERENCE SHEET 9 FOR UTILITY INFORMATION.
 7. REFERENCE SHEET 2 OF T1M FOR PROPOSED EASEMENT INFORMATION.

- SITE AND PAVING NOTES**
- [Symbol] NOT USED.
 [Symbol] CONCRETE OR ROCKSTACK LANDSCAPE RETAINING WALL (REFER TO GRADING PLAN OR LANDSCAPE PLAN).
 [Symbol] NOT USED.
 [Symbol] P.C.C. CONCRETE ROLLED CURB.
 [Symbol] 3" LONGITUDINAL P.C.C. VALLEY GUTTER.
 [Symbol] PEDESTRIAN RAMP.
 [Symbol] FIRE ACCESS ROAD ("GRASSCOTT" OR EQUAL).
 [Symbol] CABANAS (REFER TO ARCHITECTURAL & LANDSCAPE PLANS).
 [Symbol] DRIVEWAY PER TOWN STANDARDS.
 [Symbol] POOL/SPA (REFER TO LANDSCAPE PLANS).
 [Symbol] ARCHITECTURAL CONCRETE PAINTING OR SIDEWALK.

CAUTION - NOTICE TO CONTRACTOR

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2. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THESE LOCATIONS AND/OR ELEVATIONS AT THE PROPOSED PRIOR TO BEGINNING CONSTRUCTION. SHOULD THE CONTRACTOR FIND ANY DISCREPANCIES BETWEEN THE INFORMATION SHOWN ON THESE DRAWINGS, HE SHALL NOTIFY THE ENGINEER BEFORE PROCEEDING WITH CONSTRUCTION.

3. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REMOVE OR RELOCATE ALL EXISTING UTILITIES AND FEATURES ON THE SITE. THE CONTRACTOR SHALL OBTAIN APPROVAL FROM THE GOVERNING AGENCIES, THE ENGINEER, AND THE UTILITY COMPANIES PRIOR TO SUCH REMOVAL AND/OR RELOCATION.

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5. CONTRACTOR TO PROVIDE TRAFFIC CONTROL IN CONFORMANCE WITH THE LATEST EDITION OF MUTCD WHENEVER CONSTRUCTION IS IN PROGRESS WITHIN THE PUBLIC TRAVEL WAY.



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SOUTH HOTEL - EAST VILLAGE

PRELIMINARY SITE PLAN - SOUTH HOTEL

MODIFIED USE PERMIT & TENTATIVE TRACT MAP
MAMMOTH LAKES CALIFORNIA

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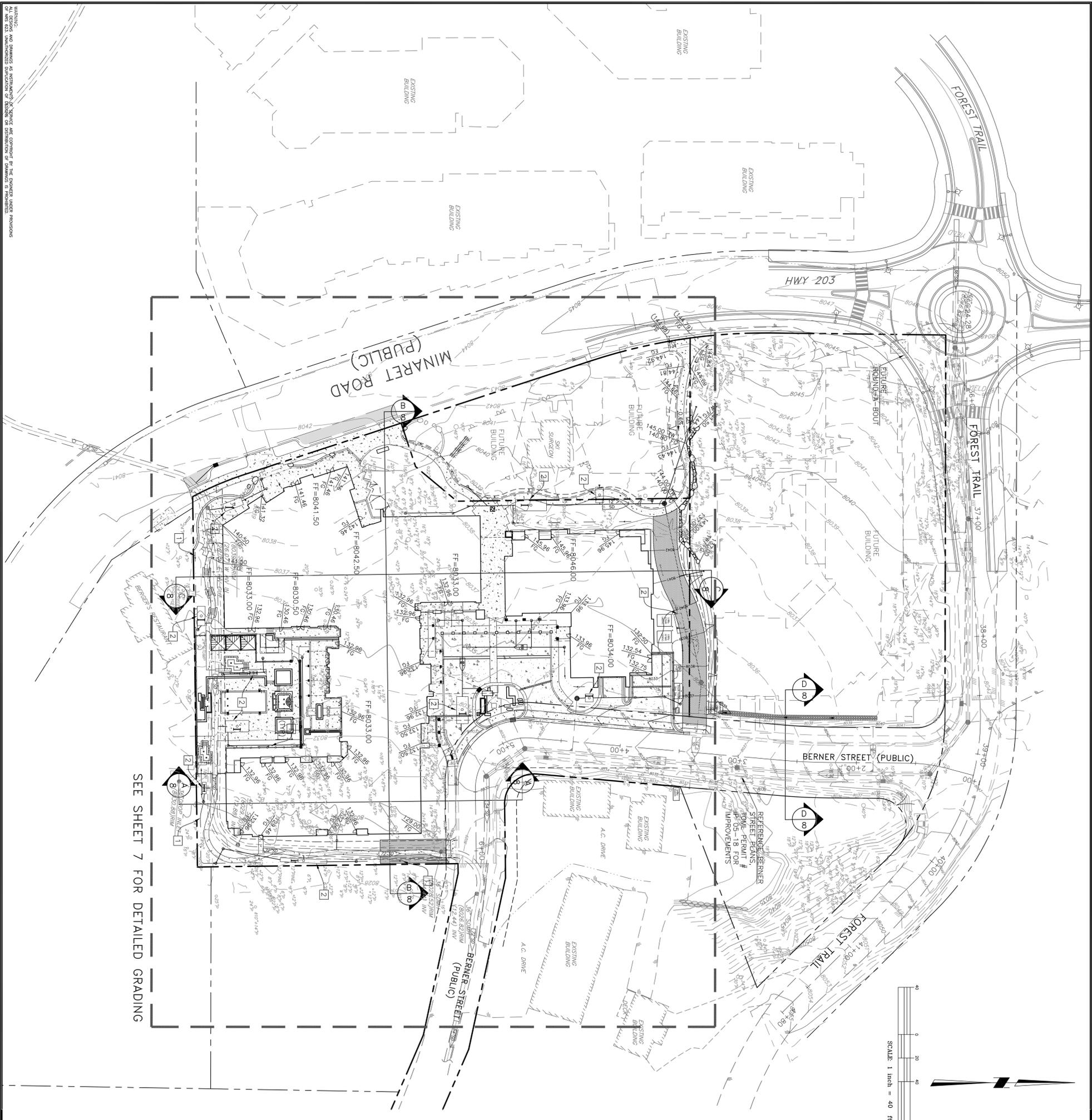
1150 CORPORATE BLVD. RENO, NV 89502
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STATUS OF PLANS	
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<input checked="" type="checkbox"/> FINAL SUBMITTAL	DATE: 08/11/06

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DATE	MARK	REVISIONS	BY

SHEET
5
 OF
11



SEE SHEET 7 FOR DETAILED GRADING



CAUTION - NOTICE TO CONTRACTOR

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3. IF SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REMOVE OR RELOCATE ALL EXISTING UTILITIES AND FEATURES WITHIN THE PROJECT LIMITS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN APPROVAL FROM THE COVERING AGENCIES, THE ENGINEER, AND THE UTILITY COMPANIES PRIOR TO SUCH REMOVAL AND/OR RELOCATION.

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5. CONTRACTOR TO PROVIDE TRAFFIC CONTROL IN CONFORMANCE WITH THE LATEST EDITION OF MUTCD WHENEVER CONSTRUCTION IS IN PROGRESS WITHIN THE PUBLIC TRAVEL WAY.

GENERAL GRADING NOTES

1. ADD 7900 TO ALL SPOT ELEVATIONS.
2. CONTOUR INTERVAL IS EQUAL TO 1'.
3. ALL PROPOSED SLOPES ARE 2:1 UNLESS NOTED OTHERWISE. REF. LANDSCAPE PLANS FOR SLOPE STABILIZATION.
4. SEE SEPARATE PLANS FOR ALL RETAINING WALL DESIGNS.
5. 2% MIN. AND 20% MAX SLOPE AWAY FROM THE BUILDING FOR A MINIMUM OF 5' PRIOR TO SWALE OR SLOPE.
6. REF. TREE ANALYSIS PLAN FOR TREE PROTECTION AND REMOVAL.
7. REF. THE PRELIMINARY MASTER DRAINAGE REPORT FOR EAST VILLAGE PREPARED BY CFA, INC. DATED DECEMBER 2005 FOR ADDITIONAL DRAINAGE INFORMATION, INCLUDING DRAINAGE COURSES, FACILITIES, FLOW QUANTITIES AND DETAILS.

CONSTRUCTION NOTES

- DRAINAGE SWALE ~ 1.0% MIN. SLOPE. ADJUST ALIGNMENT TO MINIMIZE IMPACT TO EXIST. TREES.
- INFILTRATION BASIN



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SOUTH HOTEL - EAST VILLAGE
OVERALL PRELIMINARY GRADING PLAN
 MODIFIED USE PERMIT & TENTATIVE TRACT MAP
 MAMMOTH LAKES CALIFORNIA

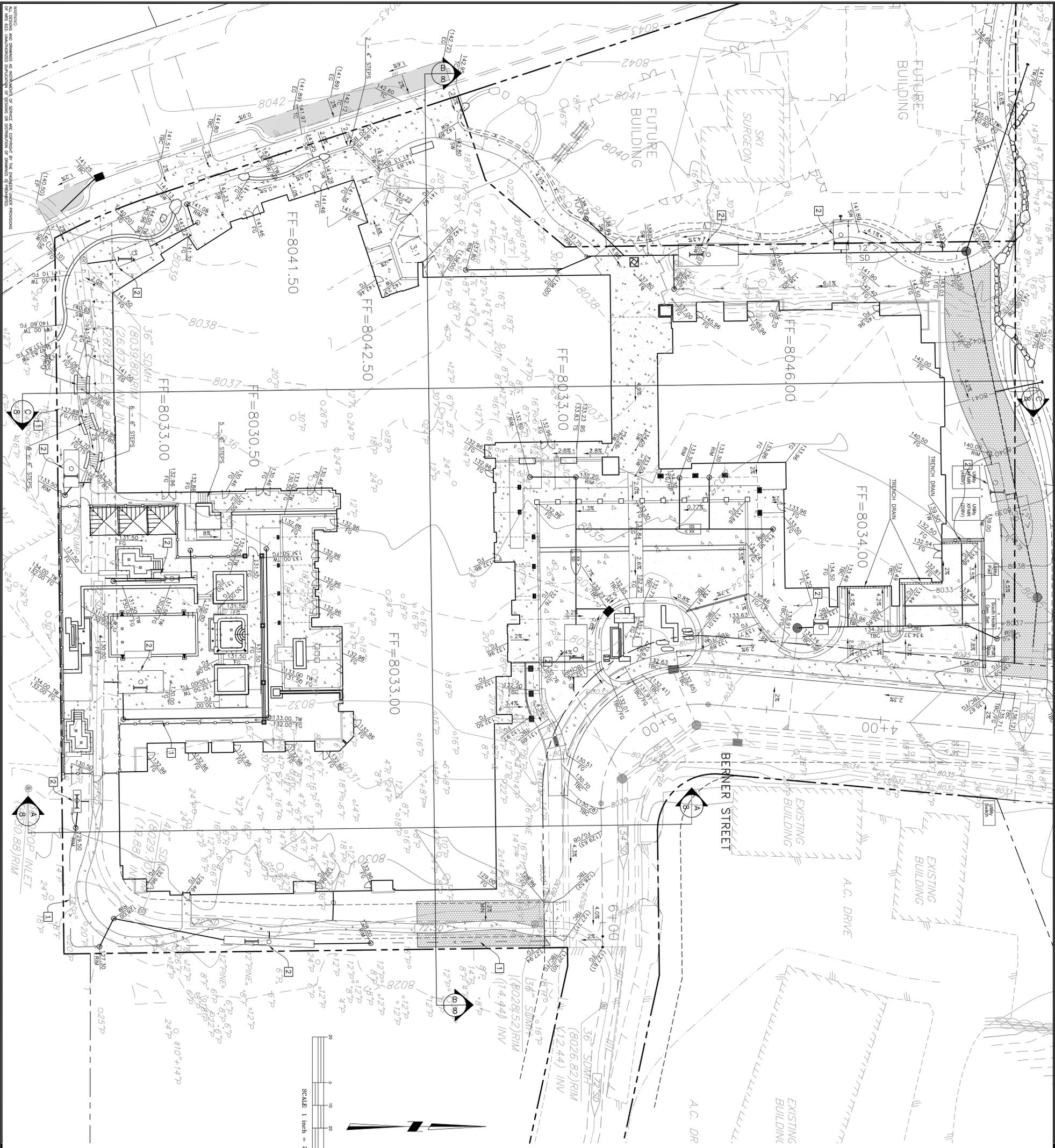
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<input checked="" type="checkbox"/> PRELIMINARY	DATE: 12/21/05
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<input checked="" type="checkbox"/> FINAL SUBMITTAL	DATE: 08/11/06

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DATE	MARK	REVISIONS	BY

SHEET 6 OF 11



CAUTION - NOTICE TO CONTRACTOR

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3. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REMOVE OR RELOCATE ALL EXISTING UTILITIES AND FEATURES ON THE SITE THAT ARE NOT SHOWN ON THESE PLANS. THE CONTRACTOR SHALL OBTAIN APPROVAL FROM THE COVERING AGENCIES, THE ENGINEER, AND/OR THE UTILITY COMPANIES PRIOR TO SUCH REMOVAL AND/OR RELOCATION.

4. THE CONTRACTOR ASSUMES ALL RISK FOR ANY CONSTRUCTION WITH PRELIMINARY OR NON-APPROVED PLANS.

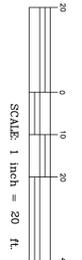
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GENERAL GRADING NOTES

1. ADD 7900 TO ALL SPOT ELEVATIONS.
2. CONTOUR INTERVAL IS EQUAL TO 1'.
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4. SEE SEPARATE PLANS FOR ALL RETAINING WALL DESIGNS.
5. 2% MIN AND 20% MAX SLOPE AWAY FROM THE BUILDING FOR A MINIMUM OF 5' PRIOR TO SWALE OR SLOPE.
6. REF. TREE ANALYSIS PLAN FOR TREE PROTECTION AND REMOVAL.
7. REF. THE PRELIMINARY MASTER DRAINAGE REPORT FOR EAST VILLAGE PREPARED BY CFA, INC., DATED JUNE 2005 FOR ADDITIONAL DRAINAGE INFORMATION, INCLUDING DRAINAGE COURSES, FACILITIES, FLOW QUANTITIES AND DETAILS.

CONSTRUCTION NOTES

- 1. DRAINAGE SWALE ~ 1.0% MIN SLOPE.
- 2. ADJUST ALIGNMENT TO MINIMIZE IMPACT TO EXIST. TREES.
- 3. INFILTRATION BASIN



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SOUTH HOTEL - EAST VILLAGE

PRELIMINARY GRADING PLAN - SOUTH HOTEL

MODIFIED USE PERMIT & TENTATIVE TRACT MAP
MAMMOTH LAKES CALIFORNIA

JOB NO. 02099.16
 DESIGNED BY GOC
 DRAWN BY GOC
 SHEET 11

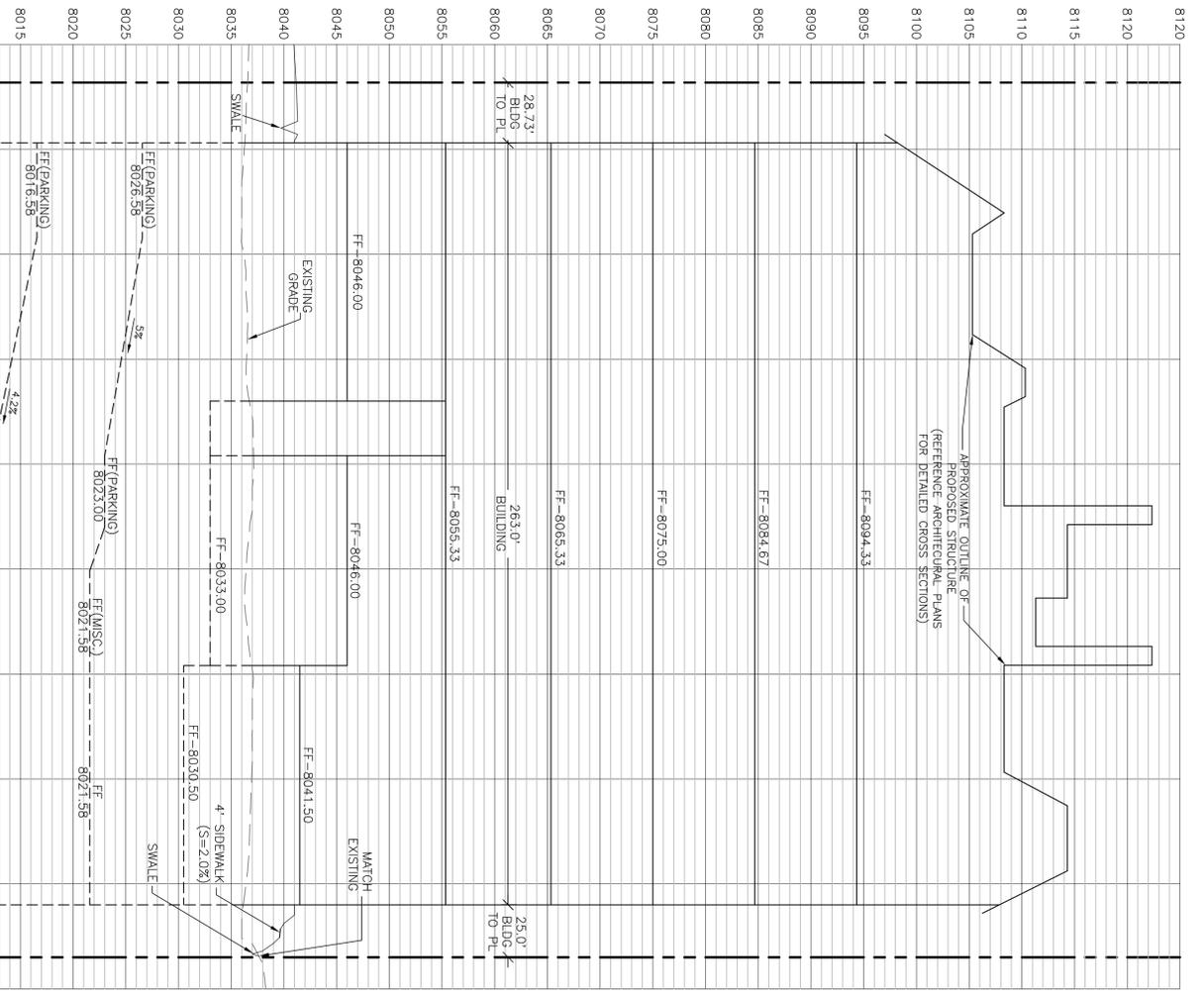
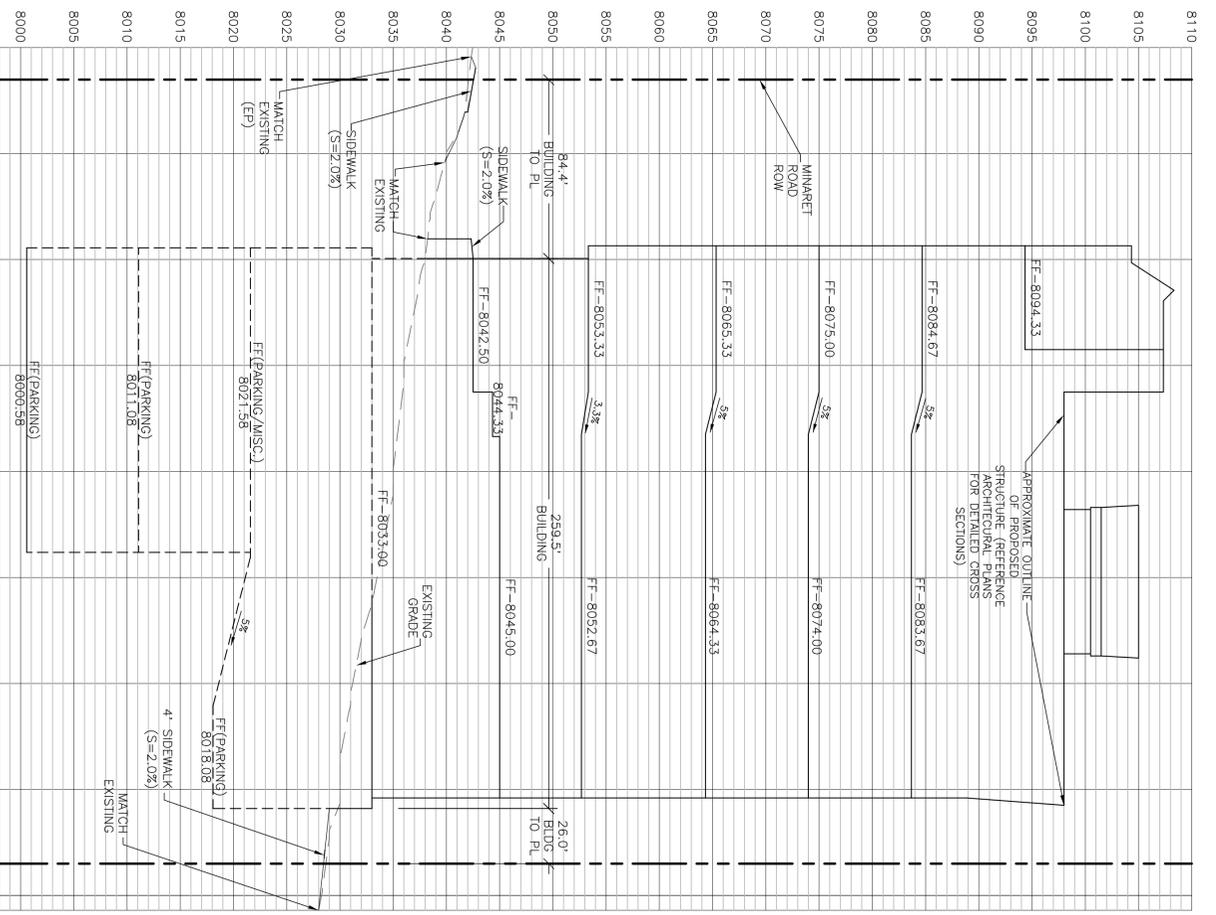
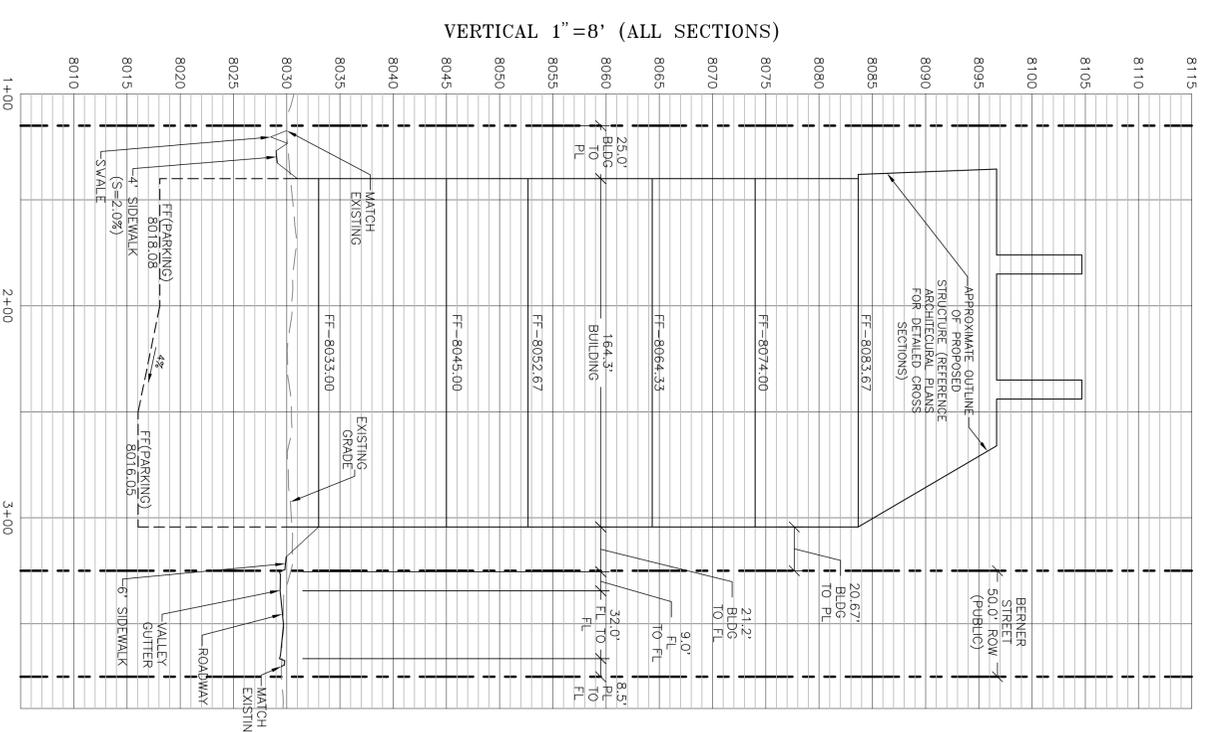
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<input checked="" type="checkbox"/> INITIAL SUBMITTAL	DATE: 12/21/05
<input checked="" type="checkbox"/> FINAL SUBMITTAL	DATE: 08/11/06

PLANS ARE PRELIMINARY AND SUBJECT TO CHANGE UNTIL STAMPED AND SIGNED APPROVED BY ALL APPROPRIATE GOVERNING AGENCIES.

DATE	MARK	REVISIONS	BY



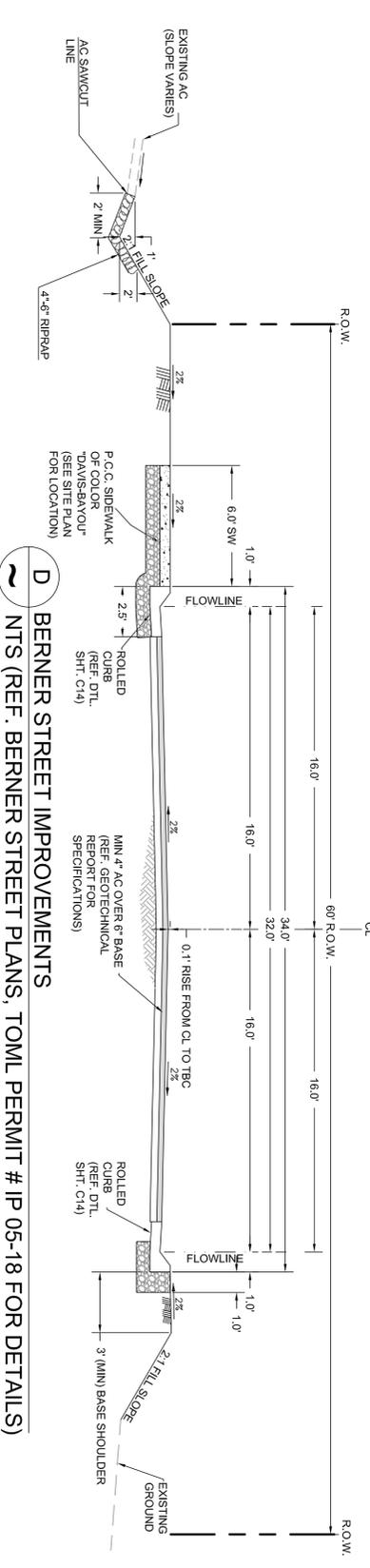
VERTICAL 1" = 8' (ALL SECTIONS)

A BUILDING SECTION A

B BUILDING SECTION B

C BUILDING SECTION C

HORIZONTAL 1" = 40' (ALL SECTIONS)



- NOTES:**
- SOME DIMENSION DISTANCES ARE SKEWED. THIS IS DUE TO THE FACT THAT THE SECTION LINES ARE NOT NECESSARILY PERPENDICULAR TO THE SECTIONED AREA. (REFER TO SITE PLAN FOR ADDITIONAL DIMENSIONS)
 - CROSS SECTIONS:

CAUTION - NOTICE TO CONTRACTOR

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2. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THESE LOCATIONS AND/OR ELEVATIONS AT THE PROPOSED CONSTRUCTION SITE PRIOR TO BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN THE INFORMATION PROVIDED TO THE ENGINEER AND THE INFORMATION SHOWN ON THESE DRAWINGS. HE SHALL NOTIFY THE ENGINEER BEFORE PROCEEDING WITH CONSTRUCTION.

3. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REMOVE OR RELOCATE ALL EXISTING UTILITIES AND FEATURES WHICH INTERFERE WITH THE PROPOSED CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND THE UTILITY COMPANIES PRIOR TO SUCH REMOVAL AND/OR RELOCATION.

4. THE CONTRACTOR ASSUMES ALL RISK FOR ANY CONSTRUCTION PERFORMED WITH PRELIMINARY OR NON-APPROVED PLANS.

5. CONTRACTOR TO PROVIDE TRAFFIC CONTROL IN CONFORMANCE WITH THE LATEST EDITION OF MUTCD WHENEVER CONSTRUCTION IS IN PROGRESS WITHIN THE PUBLIC TRAVEL WAY.



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SOUTH HOTEL - EAST VILLAGE
PRELIMINARY CROSS SECTIONS
 MODIFIED USE PERMIT & TENTATIVE TRACT MAP
 MAMMOTH LAKES CALIFORNIA

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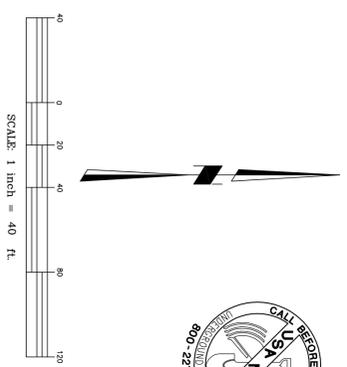
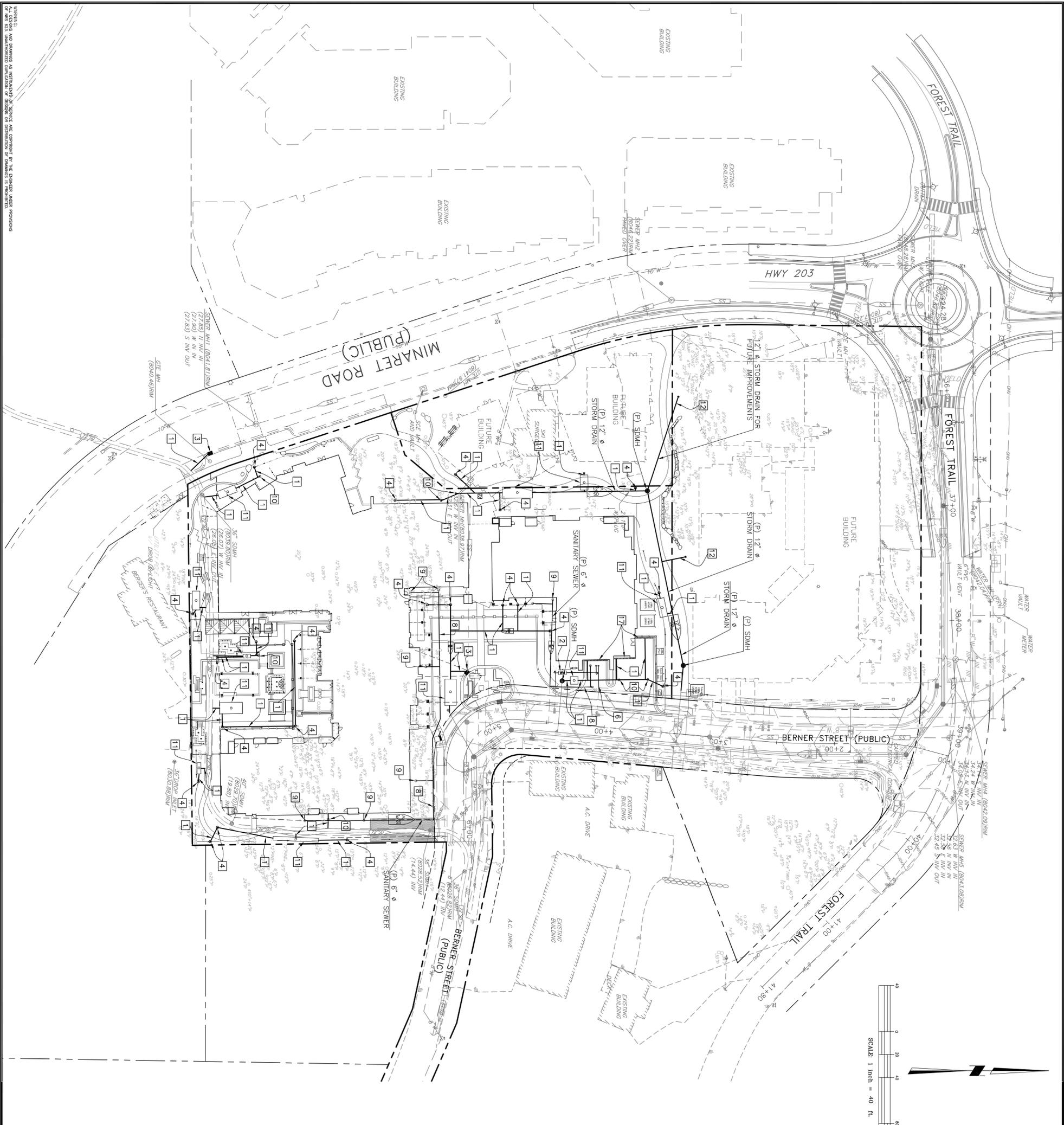
STATUS OF PLANS

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<input checked="" type="checkbox"/> FINAL SUBMITTAL	DATE: 08/11/06

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DATE	MARK	REVISIONS	BY

SHEET 8 OF 11



GENERAL UTILITY NOTES

1. ADD 7900 TO ALL ELEVATIONS.
2. VERIFY ALL LOCATIONS OF UTILITIES INTO BUILDINGS WITH MECHANICAL/PLUMBING PLANS PRIOR TO CONSTRUCTION.
3. PROTECT ALL EXISTING UTILITIES.
4. WATERLINE SHALL HAVE A MINIMUM COVER OF 54".
5. SEWER SHALL HAVE A MINIMUM COVER OF 48".

CONSTRUCTION NOTES

- 1 (P) STORM DRAIN LATERAL.
- 2 DOMESTIC WATER METER.
- 3 (P) CATCH BASIN.
- 4 (P) DROP INLET.
- 5 NOT USED.
- 6 (D) FINE SPRINKLER SERVICE, VERIFY SIZE AND LOCATION WITH MECHANICAL PRIOR TO CONSTRUCTION.
- 7 (P) 8" WATER STUB, PLUG & MARK.
- 8 SANITARY SEWER LATERAL.
- 9 (P) SANITARY SEWER CLEAN OUT
- 10 (P) STORM DRAIN CLEAN OUT.
- 11 (P) INFILTRATION SYSTEM.
- 12 STORM DRAIN LATERAL FOR FUTURE IMPROVEMENTS.
- 13 FUTURE CATCH BASIN.
- 14 FUTURE DROP INLET.
- 15 FUTURE STORM DRAIN CLEAN OUT.
- 16 FUTURE INFILTRATION SYSTEM.
- 17 (P) TRENCH DRAIN.

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SOUTH HOTEL - EAST VILLAGE
PRELIMINARY UTILITY PLAN
 MODIFIED USE PERMIT & TENTATIVE TRACT MAP
 MAMMOTH LAKES CALIFORNIA

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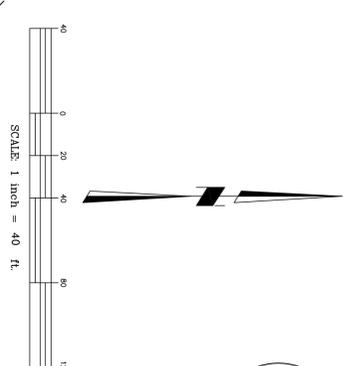
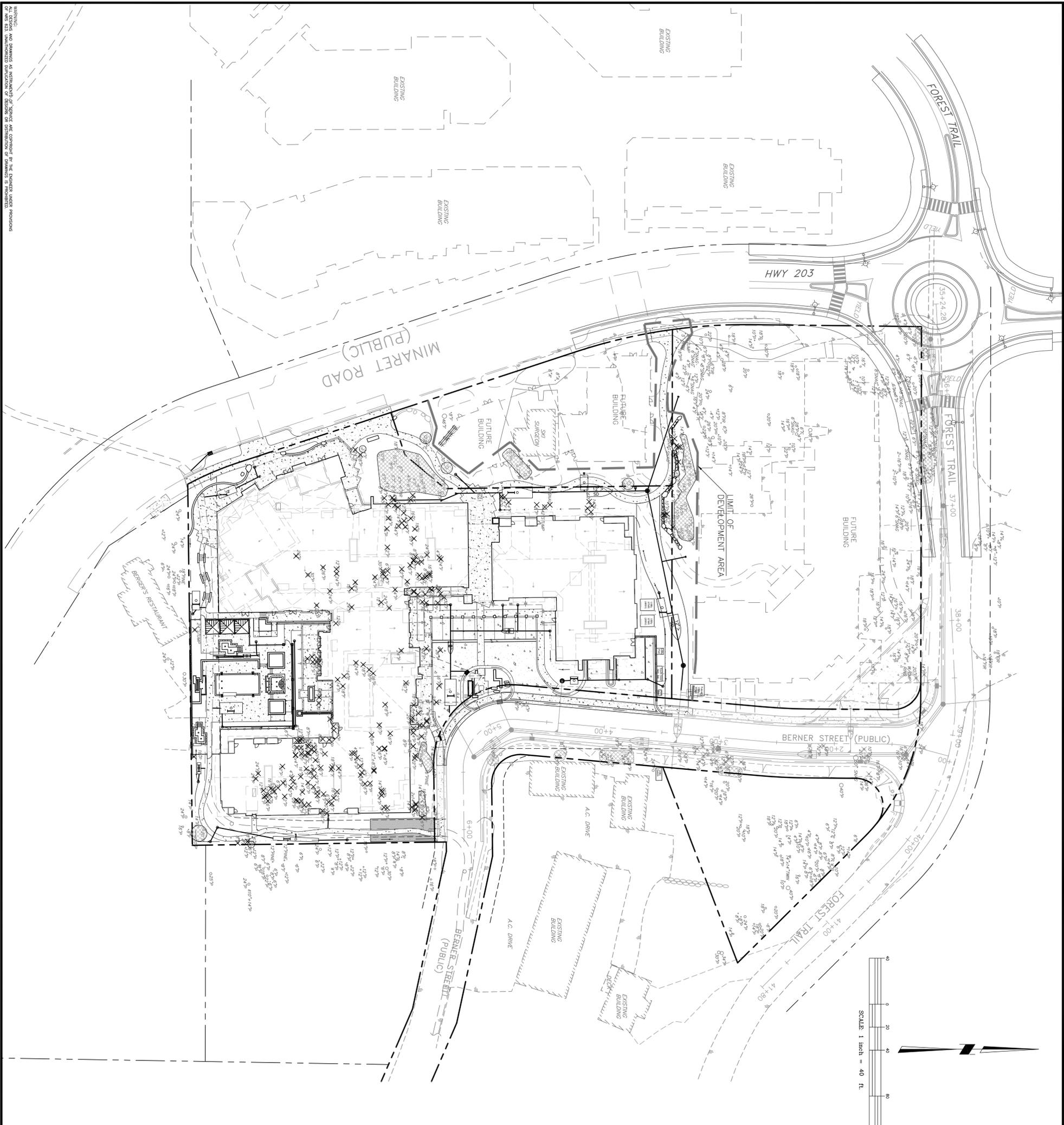
STATUS OF PLANS

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DATE	MARK	REVISIONS	BY

SHEET
9
 OF
11



LEGEND

- 0.24" P EXISTING PINE TREE WITH DIAMETER
- 0.24" F EXISTING FIR TREE WITH DIAMETER
- 80 TREES PLANNED TO REMAIN
- 80 TOTAL TREES PLANNED TO REMAIN IN DEVELOPED AREA
- X-4" P TREES PLANNED TO BE REMOVED OR RELOCATED
- 224 TOTAL TREES PLANNED TO BE REMOVED OR RELOCATED IN DEVELOPED AREA

TREE NOTES

TOWN OF MAMMOTH LAKES PLANNING DEPARTMENT SHALL APPROVE ALL TREES THAT ARE TO BE REMOVED. CONTRACTOR SHALL MARK ALL TREES TO BE REMOVED AND REQUEST REVIEW OF THE SITE BEFORE STARTING TIMBER OPERATIONS.

EXISTING ON-SITE TREES

TREES TO REMAIN WILL BE PROTECTED DURING CONSTRUCTION WITH TEMPORARY FENCING TO KEEP HEAVY EQUIPMENT AWAY FROM THE TREE DRIP LINE. (REFER TO DETAIL ON SHEET XXX.X)

IN AREAS WITH RETAINING WALLS, THE CONTRACTOR WILL EXCAVATE AROUND EXISTING TREES TO CHECK ROOT GROWTH AND STRUCTURE DURING MASS GRADING OPERATIONS. TREES DETERMINED TO BE QUESTIONABLE DUE TO EXCESSIVE ROOT CUTTING WILL EITHER BE TRANSPLANTED OR REMOVED FROM THE SITE. TREES WITH MINIMAL ROOT CUTTING THAT DO NOT POSE A FUTURE HAZARD TO BUILDINGS OR OTHER SITE IMPROVEMENTS WILL BE RETAINED IN AREAS SHOWN ON THE PLANS. ROCK WALLS WILL MAKE UP THE GRADE DIFFERENCE AROUND THE TREE BASE.

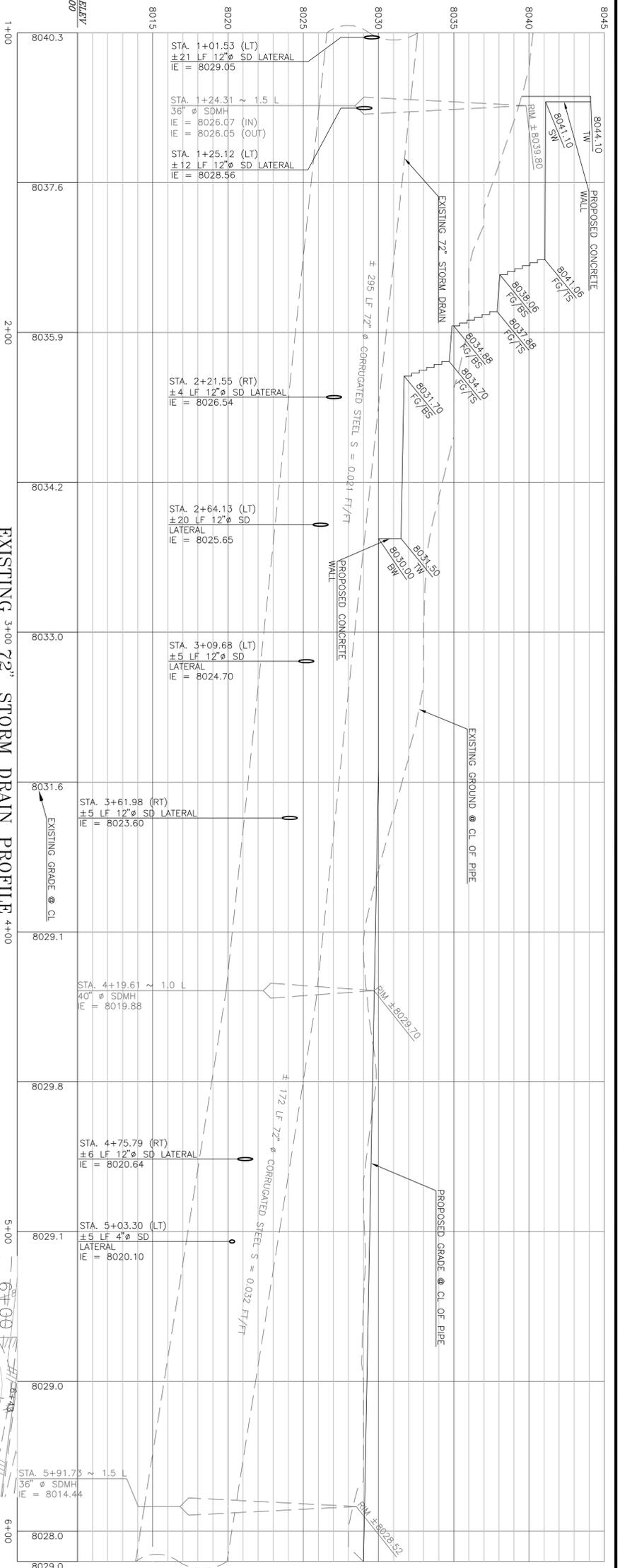


<p>10 11</p>	<p>SOUTH HOTEL - EAST VILLAGE</p> <p>PRELIMINARY TREE ANALYSIS PLAN</p> <p>MODIFIED USE PERMIT & TENTATIVE TRACT MAP MAMMOTH LAKES CALIFORNIA</p>	<p>PLANNERS • ENGINEERS • LANDSCAPE ARCHITECTS SURVEYORS • CONSTRUCTION INSPECTION</p> <p>1150 CORPORATE BLVD. RENO, NV 89502 (775) 856-1150 FAX: (775) 856-1160</p>	<p>STATUS OF PLANS</p> <p><input checked="" type="checkbox"/> PRELIMINARY DATE: 12/21/05</p> <p><input checked="" type="checkbox"/> INITIAL SUBMITTAL DATE: 12/21/05</p> <p><input checked="" type="checkbox"/> FINAL SUBMITTAL DATE: 08/11/06</p> <p>PLANS ARE PRELIMINARY AND SUBJECT TO CHANGE UNTIL STAMPED AND SIGNED APPROVED BY ALL APPROPRIATE GOVERNING AGENCIES.</p>	<p>DATE</p> <p>MARK</p> <p>REVISIONS</p> <p>BY</p>
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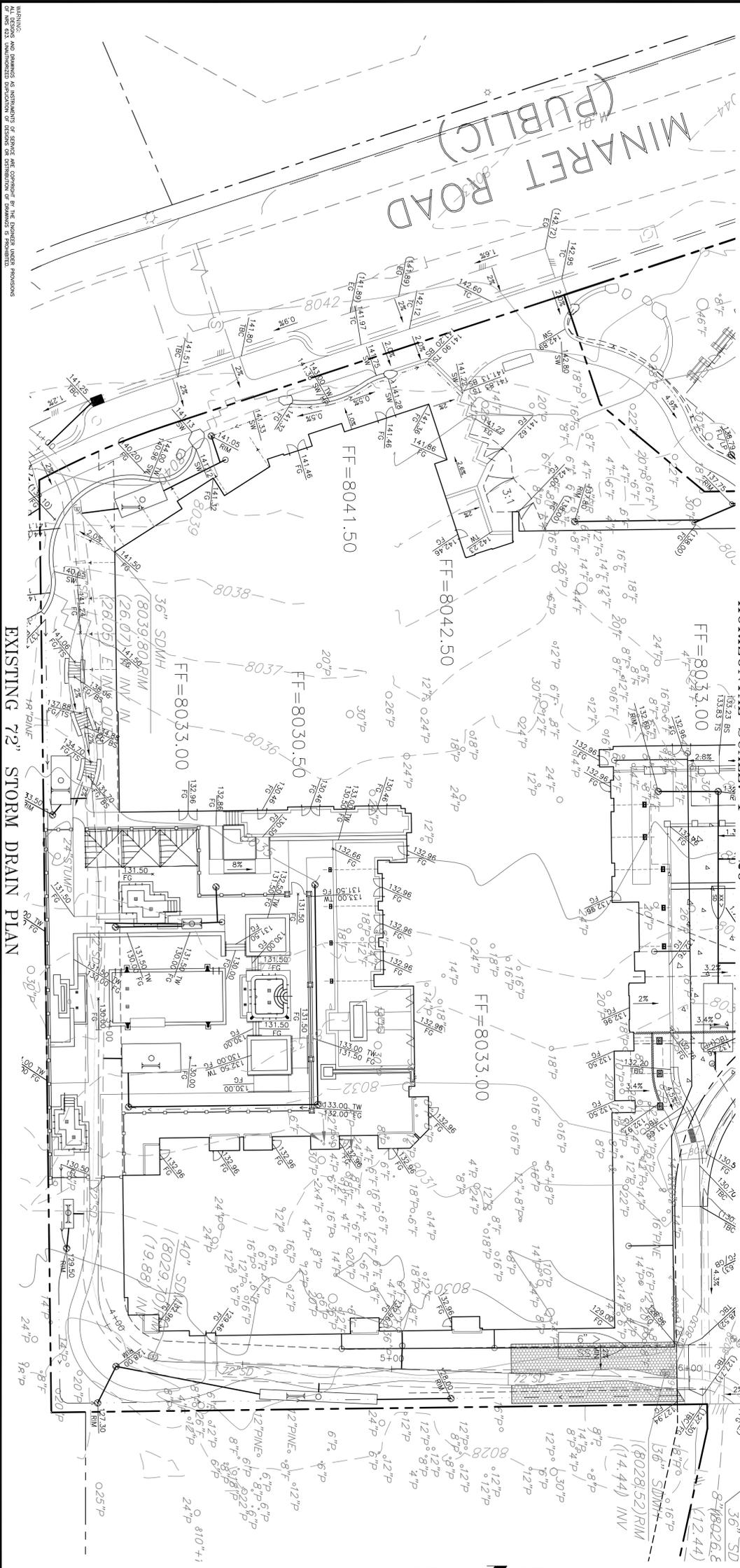
WARNING: ALL DIMENSIONS AND DIMENSIONS AS SHOWN ON THIS DRAWING ARE APPROXIMATE. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED HEREON.

File: X:\Projects\02099.16\Dwg\Eng\TENTATIVE\C-00TREE-TTM.dwg
<glines> Fri, 11 Aug 2006 - 12:31pm

VERTICAL SCALE: 1" = 4'



EXISTING 72" STORM DRAIN PROFILE
HORIZONTAL SCALE: 1" = 20'



EXISTING 72" STORM DRAIN PLAN

CAUTION - NOTICE TO CONTRACTOR

1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND FEATURES AS SHOWN ON THESE PLANS IS BASED ON THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE.

2. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THESE LOCATIONS AND/OR ELEVATIONS AT THE PROPOSED PRIOR TO BEGINNING CONSTRUCTION. SHOULD THE CONTRACTOR FIND ANY DISCREPANCIES BETWEEN THE INFORMATION SHOWN ON THESE DRAWINGS, HE SHALL NOTIFY THE ENGINEER BEFORE PROCEEDING WITH CONSTRUCTION.

3. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REMOVE OR RELOCATE ALL EXISTING UTILITIES AND FEATURES ON THE PLANS THAT THE CONTRACTOR SHALL OBTAIN APPROVAL FROM THE COVERING AGENCIES, THE ENGINEER, AND THE UTILITY COMPANIES PRIOR TO SUCH REMOVAL AND/OR RELOCATION.

4. THE CONTRACTOR ASSUMES ALL RISK FOR ANY CONSTRUCTION PERFORMED WITH PRELIMINARY OR NON-APPROVED PLANS.

5. CONTRACTOR TO PROVIDE TRAFFIC CONTROL IN CONFORMANCE WITH THE LATEST EDITION OF MUTCD WHENEVER CONSTRUCTION IS IN PROGRESS WITHIN THE PUBLIC TRAVEL WAY.



APPROVED BY THE TOWN OF MAMMOTH LAKES:
PUBLIC WORKS ENGINEERING DIVISION:
RAY JARVIS, P.E., PUBLIC WORKS DIRECTOR
RCE 42318 EXP. 03-31-06
PREPARED AND SUBMITTED BY:
PATRICK E. FRITCHELL, RCE 047293, EXP. 12-31-07, DATE
DISTRICT:

APPROVED FOR WATER AND SANITARY SEWER FACILITY CONSTRUCTION TO BE DEDICATED TO MOUND
BY: THOMAS HELLER, ASSISTANT CHIEF, FIRE MARSHAL, DATE
APPROVED FOR WATER AND SANITARY SEWER FACILITY CONSTRUCTION TO BE DEDICATED TO MOUND
BY: JOHN F. PEDERSEN, P.E., MOUND ENGINEER, DATE



**SOUTH HOTEL - EAST VILLAGE
EXISTING 72" STORM DRAIN
PLAN & PROFILE**

MODIFIED USE PERMIT & TENTATIVE TRACT MAP
MAMMOTH LAKES CALIFORNIA

JOB NO. 02099.16
DESIGNED BY GSC
DRAWN BY GSC
SHEET 11 OF 11

cfa PLANNERS • ENGINEERS • LANDSCAPE ARCHITECTS
SURVEYORS • CONSTRUCTION INSPECTION

1150 CORPORATE BLVD. RENO, NV 89502
(775) 856-1150 FAX: (775) 856-1160

STATUS OF PLANS	
<input checked="" type="checkbox"/> PRELIMINARY	DATE: 12/21/05
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DATE	MARK	REVISIONS	BY