



COMMUNITY AND ECONOMIC DEVELOPMENT DEPARTMENT  
PLANNING DIVISION

P.O. Box 1609, Mammoth Lakes, CA 93546

Phone: (760) 965-3630 Fax: (760) 934-7493

www.townofmammothlakes.ca.gov

RECEIVED

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TOWN OF MAMMOTH LAKES  
Community & Economic Dev.

APL 17-001

APPEAL OF DECISION OF PLANNING AND ECONOMIC DEVELOPMENT COMMISSION

(Municipal Code Section 17.104)

This form must be filed within fifteen (15) days of the stated action in order to be valid.

APPLICATION NUMBER APPEALED 16-102 B.G. DE 16-012

DATE OF STATED ACTION June 14, 2017

APPELLANT'S NAME SUSTAINABLE MAMMOTH LAKES

ADDRESS c/o GRUNDMAN LAW 928 2nd Street, Ste. 301  
Sacramento, CA 95814

APPEAL FEE: See Community and Economic Development Department Fee Schedule

Action taken by the Planning and Economic Development Commission which is being appealed:

Denial

Approval

Approval with Conditions  
(Attach a copy of conditions and indicate those you wish waived or modified.)

What is being appealed?

Approval of the project without environmental review, i.e., exemption from California Environmental Quality Act. Appellant requests Commission require applicant to conduct complete environmental review of the project.

Rationale for Appeal (use additional sheets if necessary):

- 1.) There was no detailed traffic study conducted; staff suggested a larger traffic study had been conducted, but nothing specific to the site, which is near the busy intersection of Highway 203 and Old Mammoth Road; and
- 2.) Despite requests for modifications of the parking plan, none was made available for public review at the relevant hearing. The nature of the parking orientation could add to traffic queueing and thus have air quality ramifications resulting from automobile emissions; and
- 3.) A fair argument exists that there will be significant environmental impacts due to increased traffic, tree removal, and on the built environment through urban decay as a result of the nature and types of uses contemplated for the site; and
- 4.) The project was not adequately noticed to the community, per staff's own statements at the hearing; and
- 5.) No rationale for exemption from the requirements of the California Environmental Quality Act was offered and made available for public review. (This list is not exhaustive, appellant reserves the right to produce additional rationale at the hearing)

I certify that I am the:  Legal Owner  Authorized Legal Agent  Other Interested Party

June 26, 2017  
Date

Signature of Appellant's Counsel: Andrew Grundman

Andrew S. Grundman  
Attorney at Law

GRUNDMAN | LAW<sup>SM</sup>

*Mailing Address:*  
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June 26, 2017

**VIA COURIER**

Jamie Gray  
Town Clerk  
437 Old Mammoth Rd.  
Suite R  
PO Box 1609  
Mammoth Lakes, CA 93546

Re: **Appeal of Decision of Planning and Economic Development Department**

**Application 16-102**

DR 16-012

Dear Clerk:

This office represents SUSTAINABLE MAMMOTH LAKES regarding Application 16-102. In compliance with Municipal Code § 17.104.030 (A)(1), the attached appeal is in writing, on a Town application form [APPEAL OF PEDC DECISION], and filed within 15 days from the date of the review authority's action.

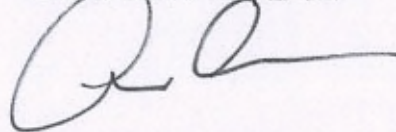
Per the Form instructions, "a copy of the conditions" are attached, and the appellant is appealing to the Commission to vacate their approval and require the applicant to conduct complete environmental review of the project. (Stated in the Form under "What is being appealed).

Pursuant to 17.104.030 (A)(2), the "pertinent facts of the case and the basis for the appeal" are provided in the Form under "What is being appealed?" Also included is the filing fee of \$1942.00, pursuant to Municipal Code § 17.104.030 (A)(3).

Please contact me at ag@grundmanlaw.com or (916) 273-4811 if there are any issues or concerns.

Sincerely,

GRUNDMAN | LAW<sup>SM</sup>



Andrew Grundman  
Attorney at Law

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# Town of Mammoth Lakes Planning & Economic Development Commission Staff Report

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<b>Date:</b>	June 14, 2017	<b>File No.:</b>	Design Review (DR) 16-012; Lot Line Adjustment (LLA) 16-002
<b>Place:</b>	Council Chambers, 2 <sup>nd</sup> Floor Minaret Village Shopping Center Mammoth Lakes, CA 93546	<b>Project:</b>	Grocery Outlet
<b>Time:</b>	After 2:00 p.m.	<b>General Plan:</b>	Commercial 2 (C-2)
<b>Appeal Status:</b>	Appealable to the Town Council	<b>Specific Plan:</b>	N/A
<b>Applicant / Owner:</b>	Best Development Group / Vereuck Rev. Trust	<b>Zoning:</b>	Downtown (D)
<b>Environmental Review:</b>	Categorical Exemption (CEQA Guidelines Section 15332 – In-Fill Development Projects)	<b>Location:</b>	37 and 77 Old Mammoth Road

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**TITLE:** Consider approval of Design Review 16-012 and Lot Line Adjustment 16-002 for the construction of an approximately 18,000 square foot Grocery Outlet store located at 37 and 77 Old Mammoth Road.

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## **A. EXECUTIVE SUMMARY**

### **1. Requested Actions**

The Commission is requested to evaluate the proposed Grocery Outlet project, which consists of Design Review 16-012 and Lot Line Adjustment 16-002, determine if the required findings can be made, and take the following action:

Adopt the attached Planning and Economic Development Commission Resolution, making the required CEQA, Municipal Code, and Subdivision Ordinance findings, and approving Design Review 16-012 and Lot Line Adjustment 16-002 with conditions as recommended by staff or with modifications.

### **2. Required Findings to Support Requested Actions**

- a. Is the proposed project consistent with the California Environmental Quality Act (CEQA)?
- b. Can the findings be met for a Design Review permit pursuant to Municipal Code (MC) Chapter 17.88?
- c. Can the findings be met for approval of a Lot Line Adjustment pursuant to Section 17.37.080 of the Town's Subdivision Ordinance?

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*Report Prepared By:*  
Nolan Bobroff, Assistant Planner

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*Report Approved By:*  
Sandra Moberly, Community and  
Economic Development Manager

### 3. Report Summary

Developers representing the Grocery Outlet are proposing to construct an approximately 18,000 square foot supermarket on 1.37 acres of vacant land located at 37 and 77 Old Mammoth Road in the Downtown (D) zoning district ("Project"). The proposed building will be located on the western boundary of the site directly adjacent to Old Mammoth Road with parking located to the sides and rear of the site. The site will have 49 parking spaces available for customers and staff. Driveways on the north and south ends of the site adjacent to Old Mammoth Road will provide vehicular access and additional access will be provided from the adjacent transit stop and sidewalk. Pursuant to the Town's design review requirements (MC Chapter 17.88), the Project requires Major Design Review approval by the Planning and Economic Development Commission (PEDC) because it is a new construction project located in a commercial zoning district. A lot line adjustment to merge the two parcels is also required because the proposed building spans both properties.

Based on staff analysis provided in this report, it is staff's opinion that the required findings to support the requested approval can be made, and staff recommends approval of Design Review 16-012 and Lot Line Adjustment 16-002, with the conditions of approval noted in the attached resolution.

### 4. Location Map

Figure 1 – Location Map



## **B. ANALYSIS**

### **1. Background and Project History**

#### *37 Old Mammoth Road*

From approximately 1950 to 2000, 37 Old Mammoth Road had a sports bar and restaurant (Old Grumpy's Restaurant) on the site. A structure fire in 1999 compromised the structural integrity of the building and it was demolished in early 2000. Since 2000, the site has been vacant and has been used for snow storage during the winter months and occasionally used for temporary parking during the summer months.

#### *77 Old Mammoth Road*

In 1995, a building permit and design review application were submitted for a retail building at 77 Old Mammoth Road. The Planning Commission approved the design review permit in July 1995; however, the building permit was never issued and the plan check expired in 1996. No other formal applications have been submitted for this site and the site has remained vacant. Similar to 37 Old Mammoth Road, the site has been used for snow storage during the winter months.

### **2. Development Proposal**

The proposed Grocery Outlet supermarket will have approximately 18,000 square feet of enclosed building area and will be constructed on a vacant 1.37-acre site in the Downtown (D) zoning district. Of the 18,000 sf building area, the sales area will occupy approximately 13,500 square feet and staff, stock, and common areas will occupy the remaining 4,500 square feet of building area. The total building footprint will be approximately 19,850 square feet.<sup>1</sup> The floor area ratio (FAR) of the project is 0.33.

The site plan for the proposed supermarket shows 49 parking spaces, which is consistent with the requirements of the Municipal Code based on a gross leasable area of 16,329 square feet.<sup>2</sup> Of those 49 spaces, two are designated as handicap accessible and four are designated as staff parking. Additionally, the site plan shows nine bicycle parking spaces (8 short-term and 1 long-term). The proposed building will be located on the western boundary of the site adjacent to Old Mammoth Road with parking located to the sides and rear of the site in order to screen the parking area from view as much as possible. Access to the site will be from Old Mammoth Road via driveways located on the north and south ends of the site and from the adjacent transit stop and sidewalk.

Other site features include a trash enclosure in the southeast corner of the property, a truck delivery ramp and loading area located on the east side of the building outside of public view, and landscaping throughout the site.

The building will be single-story and range in height from approximately 20 – 31 feet. The west (facing Old Mammoth Road) and north (facing Mammoth Shell Mart/Main Street) elevations incorporate a series of roof gables designed to create roof and wall plane modulation, with exposed wood framing elements providing visual interest. The primary store entrance is oriented toward Old Mammoth Road and the west and north elevations have large windows providing building transparency. The proposed building and roof colors consist of shades of brown, tan, green, and red, which are consistent with the Town's color handbook and the Grocery Outlet trademark colors. On the west and north elevations, metal artwork providing symbolic representations of the area will be incorporated into the design, which will assist in breaking up the building massing. The developer has committed to working with local artists on the artwork design and staff proposes that the final design be approved by the PEDC Design Committee prior to installation. The project plans are included as Attachment 2.

<sup>1</sup> The additional building footprint areas are comprised of an entry vestibule, a covered porch, a covered truck dock, and an equipment enclosure and are not counted as building area.

<sup>2</sup> 1,671 sf of the building area is considered to be common area and is excluded from the gross leasable area. These areas include hallways, restrooms, and janitorial areas.

### 3. Subject Property and Surrounding Land Uses

The subject properties are vacant lots with a combined size of 1.37 acres and are located within the Downtown (D) zoning district. The surrounding land uses and businesses are described in Table 1.

Table 1: Surrounding Land Uses and Zoning.

Location	Zoning*	Adjacent Streets	Land Use
North	D	N/A	Fueling Station and Retail (Mammoth Shell Mart)
South	D	N/A	Offices and Personal Services
East	D	N/A	Lodging (Shilo Inn); Multi-Family Residential (Winter Apartments, 1422 Tavern Apartments); Light Industrial
West	D	Old Mammoth Road	Retail (RiteAid; DIY Home Center)

\* D = Downtown

### 4. General Plan Consistency

The Project is consistent with the 2007 General Plan Visions Statements as described in Table 2.

Table 2: General Plan Conformance

Vision Statement	Explanation of Project Conformance with Vision Statement
<i>"Being a great place to live and work."</i>	The Project will provide an additional supermarket option for resident and visitors located in a central, commercial area. Additionally, it will create full-time year-round jobs.
<i>"Exceptional standards for design and development that complement and are appropriate to the Eastern Sierra Nevada mountain setting and our sense of a "village in the trees" with small town charm."</i>	The building design is consistent with the Town's Design Guidelines and the Municipal Code commercial development standards. The building design features variations in the building forms and rooflines in order to provide visual interest and the materials and colors are appropriate to the area. The maximum height of the building is 31 feet, which is lower than the maximum permitted building height. Additionally, the metal artwork on the facades visible from Main Street and Old Mammoth Road will be symbolic of the Eastern Sierra Nevada mountain setting and will complement other buildings in the vicinity. The PEDC Design Committee reviewed the Project and were supportive of the design.
<i>"Offering a variety of transportation options that emphasize connectivity, convenience, and alternatives to use of personal vehicles with a strong pedestrian emphasis."</i>	The Project is located adjacent to a transit stop and sidewalk, which will allow for ease of access for pedestrians and/or those utilizing public transportation. Additionally, near the entrance to the store, there will be nine bicycle parking spaces, which will encourage use of bicycles. The primary store entrance is pedestrian-oriented and faces towards Old Mammoth Road and is located adjacent to the sidewalk.

The Project is consistent with the 2007 General Plan goals, policies, and actions as described in Table 3.

Table 3: General Plan Conformance with Goals, Policies, and Actions

Goal, Policy, or Action	Explanation of Project Conformance with Goal, Policy, or Action
Policy E.1.D. Encourage restaurants, retail, entertainment, lodging, and services.	The Grocery Outlet supermarket will create an additional retail business in Town.
Policy E.3.A. Encourage mix of uses in the Main Street, Old Mammoth Road, and Shady Rest District and the North Village District.	The Project is located in the North Old Mammoth Road District near the intersection of Main Street and Old Mammoth Road and would provide an additional supermarket option within the Town. There is another supermarket located approximately a half mile away.
Policy E.3.D. Encourage adequate and appropriate commercial services for residents and visitors.	The Grocery Outlet store will provide an additional supermarket option for resident and visitors located in a central, commercial area.
Policy E.3.E. Support establishment and expansion of industries complementary to the community, our environment and economy.	The Grocery Outlet store will complement the community by providing an additional supermarket option for resident and visitors. Additionally, it will contribute to the economy by providing year-round full-time jobs.
Goal C1. Improve and enhance the community's unique character by requiring a high standard of design in all development in Mammoth Lakes.	The Project is consistent with the Town's Design Guidelines and the commercial development standards. The Project was reviewed by the PEDC Design Committee and revisions were made to the design as a result of their review and input.
Policy C.2.I. Achieve highest quality development that complements the natural surroundings by developing and enforcing design standards and guidelines.	The Project is consistent with the Town's Design Guidelines and the commercial development standards.
Policy C.2.L. Create a visually interesting and aesthetically pleasing built environment by requiring all development to incorporate the highest quality of architecture and thoughtful site design and planning.	The proposed building features numerous wall and roof modulations in order to create a visually interesting building while still maintaining the maximum amount of useable floor and wall display area within the building. The site design was carefully analyzed in order to promote a pedestrian orientation by placing the building and store entrance close to the street and to minimize conflicts between pedestrians and vehicles by locating the parking along the sides and rear of the building.
Policy C.2.T. Use natural, high quality building materials to reflect Mammoth Lakes' character and mountain setting.	The Project design proposes to use hardie-board siding, CMU blocks, heavy timber accents, and metal artwork. The CMU block and hardie-board siding will be painted shades of brown, tan, and green in order to be consistent with the mountain setting.



Goal, Policy, or Action	Explanation of Project Conformance with Goal, Policy, or Action
<p>Policy C.2.U. Require unique, authentic, and diverse design that conveys innovation and creativity and discourages architectural monotony.</p>	<p>The proposed store has a large building footprint (approximately 19,850 square feet) and has incorporated a number of design features in order to discourage monotony. The building façade features pop-out elements, gable roof facades, and numerous large windows in order to break up the large mass of the building, while still maintaining an adequate square footage of interior usable space. The Project applicant worked diligently to comply with all applicable commercial development standards and the Town's Design Guidelines. Additionally, to provide further articulation of the building walls, unique metal artwork reflective of the mountain setting will be incorporated into the CMU block sections along Old Mammoth Road and the north elevation that will be visible from Main Street.</p>
<p>Policy C.2.V. Building height, massing and scale shall complement neighboring land uses and preserve views to the surrounding mountains.</p>	<p>The maximum building height is 31 feet and will complement the building heights on neighboring sites since those buildings range in height from approximately 20 – 40 feet. Additionally, the proposed height is below the maximum building height of 55 feet and will not impact public views of the surrounding mountains.</p>
<p>Policy C.3.E. Ensure that landscaping, signage, public art, street enhancements and building design result in a more hospitable and attractive pedestrian environment.</p>	<p>The proposed building and primary store entrance is located adjacent to Old Mammoth Road at the minimum required distance from the curb in order to provide a direct connection to the sidewalk and adjacent transit stop. Additionally, the large windows will allow for pedestrian views into the store creating an animated pedestrian-friendly environment.</p>
<p>Policy C.4.D. Retain the forested character of the town by requiring development to pursue aggressive replanting with native trees and other compatible species.</p>	<p>The preliminary landscape plan shows 45 trees on the site after replanting. The tree species are all native to the area and are consistent with the recommended plant lists for Mammoth Lakes and the Town's Water Efficient Landscape Regulations.</p>
<p>Policy C.5.A. Require outdoor light fixtures to be shielded and down-directed so as to minimize glare and light trespass.</p>	<p>All exterior lighting is required to be consistent with the Town's exterior lighting requirements (Municipal Code §17.36.030).</p>
<p>Commercial 2 (C-2) Land Use Designation – This designation allows for the community's medium- and large-scale commercial mixed uses. The maximum floor area ratio is 2.0. Intended uses include retail and office space for services as well as visitor lodging and residential uses.</p>	<p>The proposed use is a medium- to large-scale commercial retail use that is consistent with the allowed floor area ratio (FAR) and development standards for the area.</p>

## 5. Municipal Code Consistency

The Project is consistent with all applicable zoning requirements of the Downtown (D) zoning district. A summary and analysis of the proposal and applicable development standards is discussed in Table 4.

Table 4: Zoning Consistency

General Information			
General Plan: Commercial 2 (C-2)		Specific Plan: N/A	
Zoning: Downtown (D)		Overlay Zone/District/Master Plan: N/A	
Existing Land Use: Vacant		Permit(s) Required for Use: Major Design Review (DR); Lot Line Adjustment (LLA)	
Primary or Secondary Active Frontage: Primary Active Frontage			
Development Standards			
Standard	Required	Proposed	Complies?
Lot Requirements			
Lot area (s.f.)	10,000 sf	59,682 sf <sup>1</sup>	Yes
Lot width (feet)	75 feet	295 feet	Yes
Lot depth (feet)	100 feet	220 feet	Yes
Density and Intensity			
Floor Area Ratio (FAR)	Maximum 2.0	0.33	Yes
Building Placement Standards			
Other Designated Active Frontage Areas	Property line or 15 feet from back of curb, whichever is greater	15 feet from property line	Yes <sup>2</sup>
Interior Side and Rear	0 feet	52 feet (northern interior side) 25 feet (rear) 64 feet (southern interior side)	Yes
Build-to Requirement (Primary Active Frontage)	184 feet (60% of linear street frontage)	184 feet (60%)	Yes
Height Standards			
Maximum Overall Building Height	55 feet	31 feet	Yes
Minimum Building Face Height	20 feet	20 feet	Yes
Maximum Building Face Height Along Streets	25 feet for 60% of building base	25 feet for 60%	Yes
	35 feet for 20% of building face	25 – 30 feet for 40%	
	55 feet for 20% of building face		
Stepback	Minimum 10 feet from the building base below	14½ feet	Yes
Ground Floor, Nonresidential units	Minimum 14 feet clear from floor to ceiling	16 feet	Yes

<b>Parking and Loading Standards</b>			
<b>Standard</b>	<b>Required/Allowed</b>	<b>Proposed/Provided</b>	<b>Complies?</b>
Setback from Street Property Line	20 feet	36 feet (northern side) 20 feet (southern side)	Yes
Number of Parking Spaces	49 – 114	49	Yes
Number of Bicycle Parking Spaces	9	9 (8 short-term and 1 long-term)	Yes
Landscaping of Parking Area	3,219 sf (10% of gross parking area)	7,435 sf	Yes
Number of Trees	10 trees (1 per 5 parking spaces)	45 trees	Yes
Delivery Areas	Side or rear of lot; must be screened from public ROW	Rear of building	Yes
<b>Other Standards</b>			
Building Entrance Location	Entrance oriented towards and facing the street and emphasized with design features	The primary entrance is located adjacent to and faces Old Mammoth Road and is emphasized via a large two-sided gable façade	Yes
Building Transparency	607 sf (60% of the wall area between 2.5 – 8 feet above the sidewalk)	284 sf and additional architectural details are provided that create visual interest at the pedestrian level consistent with MC §17.24.040.C(3)	Yes <sup>2</sup>
Wall Plane Modulation	No wall plane over 50-foot wide without modulation	Maximum width of 45-foot without modulation	Yes
Roof Modulation	Roof modulation of a minimum of 10-feet in height	Gable façade elements extend 11 feet higher than the adjacent roofline	Yes
Pedestrian Access	Connect to on-site walkways to public sidewalks and transit stops	Handicap accessible (ADA) compliant walkway connection to the Old Mammoth Road sidewalk and adjacent transit stop	Yes
Snow Storage	19,318 sf (60% of parking and driveway area) OR approval of a snow hauling plan	3,775 sf (12%) and snow hauling plan consistent with MC §17.36.110.3(a)	Yes

<sup>1</sup> LLA 16-002 proposes to merge the approximately 39,680 sf and 20,000 sf lots into one (1) 59,682 sf lot. See discussion below.

<sup>2</sup> The setback from Old Mammoth Road was determined to be 15 feet from the property line due to the variation in the curb line and the associated easements for the transit stop and sidewalk.

<sup>3</sup> Pursuant to MC §17.24.040.C(3), an alternative to the building transparency requirement is proposed. See discussion below.

*Use*

The subject sites are located in the Downtown (D) zoning district. Pursuant to MC Chapter 17.144 (Use Classifications), supermarkets are considered a General Retail use and are permitted outright in all commercial zones.

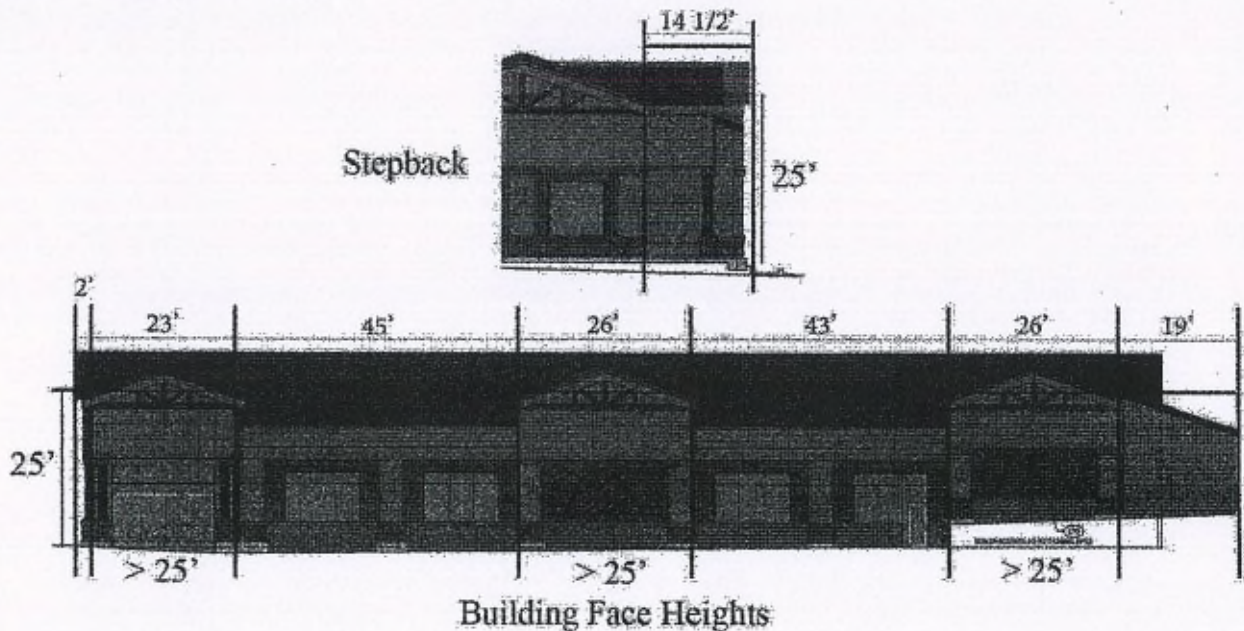
*Parking*

MC §17.44.030.B provides the non-residential parking requirements and identifies a minimum and maximum number of parking spaces required for various use classifications. For retail use classifications, MC Table 17.44.030(B) indicates that a minimum of 3.0 and a maximum of 7.0 spaces are required per 1,000 square feet of gross leasable area (GLA). The Project has a GLA of 16,329 square feet, which equates to a parking requirement of 49 spaces. The Project proposes a surface parking lot with 49 spaces and therefore is consistent with the MC parking requirements. An extensive analysis of the site and parking area was completed by the applicant in coordination with staff and it was determined that the proposed site plan represents the maximum parking potential for the site. The Mammoth Lakes Fire Protection District (MLFPD) reviewed the site plan and is satisfied that the Project has provided an adequate number of parking spaces (see Attachment 5 – Comment Letters).

*Building Face Heights*

The height standards for commercial districts require varying building heights and setbacks in order to avoid a monotonous flat wall plane facing the street and the MC has limitations on the maximum building height along the street frontage based on percentages and minimum setback distances. The lower roof eave along Old Mammoth Road is at a height of 20 feet and that portion of the roof does not hit a height of 25 feet until a point 14½ feet back from the building edge (i.e., setback). The gabled roof elements range in height from approximately 24 feet to 30 feet. The portion that exceeds a height of 25 feet is 40% (i.e., 75 feet) of the building frontage and the portion that is less than 25 feet is 60% (i.e., 109 feet) of the building frontage. Therefore, the building face heights are consistent with the MC requirements. Figure 2 shows the breakdown of the building face heights

Figure 2 – Building Face Heights.



### *Building Transparency*

MC §17.24.040.C requires exterior walls facing a street to be transparent for at least 60% of the building wall area located between 2.5 and 8 feet above the level of the sidewalk. Based on the proposed building frontage length of 184 feet, the building would need to have 607 square feet of transparency along the street frontage to meet this MC requirement. The proposed building transparency area is approximately 284 square feet or 28% of the required area. Due to the use of the store as a grocery store and the need for large amounts of shelf space, the 60% requirement is not feasible. The applicant has stated that a maximum amount of interior wall space is needed for shelving and shelves that block the windows would not be attractive from the exterior of the building. Additionally, windows are not practical in the southwestern portion of the building adjacent to the street because this is the location of the bathrooms and fire control room. These uses cannot be relocated to another portion of the building because the stock area needs to be located on the southeastern portion of the building adjacent to the loading area and the remainder of the store is the sales area.

Pursuant to MC §17.24.040.C(3), an alternative to the building transparency requirement may be approved if the Community and Economic Development (CED) Director finds that the street-facing façade building walls exhibit architectural relief and detail and are enhanced with landscaping in such a way as to create visual interest at the pedestrian level. As mitigation for the lack of transparency along the street-facing façade, the applicant has proposed metal artwork that is raised off the building to create a three-dimensional look and create visual interest at the pedestrian level. The artwork would be located on three wall sections of the building visible from Old Mammoth Road and Main Street (the Old Mammoth Road sections are shown in Figure 2). The artwork depicted in Figure 2 is a draft version of the artwork and the final artwork design is being developed and will be brought back to the Design Committee for final approval. Additionally, the Old Mammoth Road elevation will have a series of building pop-outs and raised gabled roof sections to create architectural relief and landscaping that includes six trees and numerous shrubs (see the Preliminary Landscape Plan, Attachment 2 – Sheet LC-1). The CED Director is supportive of the proposed mitigations for the transparency requirement and finds that it meets the intent of creating visual interest at the pedestrian level and therefore, the proposed design is consistent with the allowed building transparency alternative.

### *Snow Storage*

Within the commercial zones, an area equal to 60% of all uncovered required parking and driveway areas is required for snow storage. For this Project, 19,318 square feet of snow storage would be required and the site plan indicates that 3,775 square feet (12% of the parking and driveway area) is available on-site. Pursuant to MC §17.36.110.B(3)(a), the on-site snow storage requirement can be reduced if:

1. The affected property participates in a snow removal maintenance district;
2. The property owner commits to permanently haul on-site snow from the property to an approved off-site snow storage area; and
3. A snow storage management plan is submitted and approved by the Town.

The snow storage management plan requirement includes that the interim storage of snow on the property does not interfere with more than one-third of the required minimum parking and that snow is removed from the property within five calendar days following a storm cycle. Condition of Approval 28 requires conformance with MC §17.36.110.B(3)(a) prior to issuance of a certificate of occupancy. Therefore, the Project complies with the MC requirement related to snow storage.

### *Lot Line Adjustment*

The lot line adjustment (LLA) is necessary to merge the two parcels since the proposed building spans both properties. Staff has reviewed the LLA exhibits for conformance with the California Subdivision Map Act and the Town's Subdivision Ordinance and found them to be consistent with all requirements. A Certificate of Compliance to merge the parcels is required to be recorded by the Mono County Recorder's Office prior to building permit issuance.

## 6. Project Design

Staff has conducted a design review analysis of the Project, described below. In addition the PEDC Design Committee reviewed the Project at two Design Committee meetings and provided input and suggested changes, which were incorporated into the subsequent submittals. The minutes from the two Design Committee meetings are included as Attachment 4.

A summary of the submittal requirements for Major Design Review is included in Table 5 below:

Table 5: Major Design Review Submittal Requirements

Item	Submitted?
Site Plan	Yes (Attachment 2, Sheet A1)
Colored Elevation Drawings	Yes (Attachment 2, Sheet A6)
Preliminary Landscape Plan	Yes (Attachment 2, Sheet LC-1)
Materials Board	Yes (Attachment 2, Photo)
Color Perspective Representation	Yes (Attachment 2, Sheet A7)

The proposed Project is consistent with the Town's Design Guidelines as discussed below:

### a. *Site Design*

The proposed building and primary store entrance are oriented towards Old Mammoth Road at the minimum distance from the back of the curb so that the building frames the street and provides an animated, pedestrian friendly environment via the large storefront windows. The parking areas will be located to the sides and rear of the building in order to shield the parking from public view to the maximum extent possible and minimize conflicts between pedestrian and vehicular circulation. Landscaping, including large trees for screening, will be incorporated into the area between Old Mammoth Road and the parking stalls to further shield the parking area from public view. Additionally, the site design incorporates a pedestrian pathway between the store entrance and the sidewalk/transit stop in order to provide a safe, convenient, and appealing pedestrian connection to the site. Delivery, loading, and other utility storage areas (i.e., trash storage) will be located in the southeastern portion of the site so that they are primarily out of the public view and located centrally to the stock area of the store.

The Design Guidelines recommend that buildings be sited to take full advantage of the natural sun pattern and avoid shading on parking and pedestrian areas. The store entrance and primary customer parking area is located on the north side of the building and will be shaded, which could potentially lead to ice buildup during the winter. Due to site constraints including topography and access, it was determined that there was no feasible alternative to this orientation. The site slopes upward approximately 10 feet from the north to the south and the utility areas of the building (i.e., delivery ramp and loading dock) that are located on the southeastern side of the building take advantage of this grade change to facilitate grading and construction of the ramps. Additionally, the control rooms located on the southwestern side of the building do not require the same interior building height as the sales and stock area and can sit atop the higher portions of the lot without substantial grading and cutting. Due to the relatively small size of the subject property, delivery truck access is facilitated through a one-way truck travel route from the southern entrance to the northern entrance. Shifting the building to the north or south in order to alleviate some of the shading is not feasible because it would encroach into the required truck-turning radiuses, drive aisle widths, and parking stalls, all of which currently meet the Town and MLFPD standards. The developer is proposing to install trench drains, walk-off mats, and heat tape to address potential ice buildup in the pedestrian areas and has enlarged the overhang at the store entrance to better protect and shelter this area from the snow. Snow rails will be installed on all eaves that shed near

the store entrance and along Old Mammoth Road. To further protect the bus stop area, a 42-inch high snow fence will be added along the edge of the sidewalk to assist with holding the snow back.

The site design accommodates the opportunities and constraints of the site and achieves a design that is appropriate for the area and is pedestrian friendly, and is therefore consistent with the Design Guidelines as described above.

b. *Architecture and Colors and Materials*

The Design Guidelines encourage large building masses to be broken up by varying building forms, roofs and facades. As required by the MC, the proposed building occupies 184 feet or 60% of the street frontage and to break up the large building mass along the street frontage, the building has a series of large storefront windows and building facade pop-outs with gabled roof to provide visual interest. The mass of the building is articulated through the use of varying materials and colors and the incorporation of raised metal artwork on the CMU block sections that are adjacent to Old Mammoth Road and visible from Main Street. The proposed artwork is subject to final approval by the Design Committee prior to installation.

The entrance to the building is located on the northwest corner of the structure, directly adjacent to Old Mammoth Road. The entrance area is protected from the elements with an enclosed vestibule that can be accessed via the east and west side thereby providing direct access for pedestrians coming from Old Mammoth Road and the customers coming from the parking area. The store entrance is accentuated with wood columns, an open porch design, and a two-sided gabled roof element. Landscaping in the vicinity of the store entrance is at a scale that does not detract or hide the store entrance from public view, but still enhances the appearance of the area.

The Design Guidelines encourage the use of natural, renewable, and recyclable materials and the use of wood or wood-like materials. Due to the large size of the building, wood construction would be cost prohibitive to build and maintain. The proposed materials consist of split-faced masonry CMU block, hardie-board siding, and stucco. The Design Guidelines do not prohibit the use of these materials if appropriate finishes and colors are applied and the materials are textured and varied to provide visual interest. The building materials and colors are:

- Hardie-board siding with a rough finish to resemble a wood-like material and will be painted Caramel Apple.
- CMU block that will be painted Middlebury Brown.
- Stucco that will be painted Caramel Apple and will be used on the gabled roof sections in order to provide variation between the CMU block and the hardie-board siding sections.
- The base of the building will be CMU block with a rough textured gray finish and the columns will have a similar textured finish and will be painted Guacamole Green, which will provide visual variation along the base of the building. The base material will be 4 feet tall and will create a durable base that can withstand snow removal and be adequate size and scale for the size of the building.
- The parapet roof facades will be standing seam metal and will have a matte, non-reflective red finish. The remainder of the roof is flat and will have a non-reflective finish.
- Heavy-timber wood accents will be added on the gabled roof sections to provide visual variation and wood columns will be used near the store entrance to accentuate the entrance. All wood elements will be stained "redwood."
- The metal artwork will be left unfinished and over time will develop a patina layer. The use of steel reflects Mammoth Lake's character and the mining history associated with the area. Additionally, the artwork images will be symbolic of the area.

The proposed colors are consistent with the Design Guidelines and the Town's Color Handbook because they are natural, earth-tone colors. The proposed roof color is red, with a matte finish and

is limited to the parapet roof facades and the remainder of the roof is flat and will not be visible from the public areas in the vicinity of the Project. The Design Guidelines specify that roof colors should be dark and muted, rather than bright, and the Commission should discuss the appropriateness of the roof color selection. The proposed colors and materials are included in Attachment 2 – Materials Board.

c. *Landscaping*

Landscaping is proposed for the perimeter of the site with the most extensive landscaping occurring along Old Mammoth Road. Along the eastern and southern sides of the property, 15 to 20 trees will be planted to provide screening for the neighboring properties. The proposed landscaping will enhance the overall appearance of the site and the landscaping will screen the parking areas from public view to the maximum extent possible. The landscaping will consist of a variety of trees and shrubs that are native and drought-tolerant and are consistent with the plant guides for Mammoth Lakes. The preliminary landscape plan is consistent with the Town’s Water Efficient Landscape Regulations (MC Chapter 17.40) since drought-tolerant, low water-usage plants are proposed and the Estimated Total Water Use (ETWU) is less than the Maximum Applied Water Allowance (MAWA). A full landscape documentation package will be required prior to issuance of a building permit. The preliminary landscape plan is included as Attachment 2 – Sheet LC-1.

*Comments from the Design Committee*

The PEDC Design Committee reviewed the Project on December 20, 2016 and at a subsequent meeting on May 11, 2017 (the minutes are included as Attachment 4). The comments are summarized below.

Table 6: Design Committee Comments

Comment	Response / Revised
Due to the north facing aspect of the building, shading and ice buildup is a concern.	The applicant acknowledged that they understand the shading concerns and propose to address potential ice buildup through the use of trench drains, walk-off mats, and heat tape and will install snow rails on the eaves that shed snow near pedestrian areas. See the <i>Site Design</i> discussion above for additional information.
The number of parking spaces proposed is not sufficient for the intended use ( <i>the site plan reviewed by the Design Committee proposed 42 spaces</i> ).	The submittal that was reviewed by the Design Committee proposed 42 parking spaces, which was deemed inadequate by staff for the proposed use. Staff and the applicant analyzed the site plan and determined that there was space for seven (7) additional parking spaces, bringing the total to 49 spaces. 49 spaces is the minimum number required by the Municipal Code and staff and MLFPD are satisfied that the Project meets its parking requirements. Additionally, staff worked with the applicant to make slight revisions to the parking layout and remove unnecessary raised peninsulas to facilitate snow removal.
The building does not meet the transparency requirements and additional architectural treatments need to be added.	The applicant indicated that the 60% building transparency requirement is not feasible due to the need for the interior wall space and proposed to incorporate artwork symbolic of the Mammoth Lakes area into the blank CMU blocks sections to provide visual interest. The Design Committee was supportive of the artwork idea with the condition that the Design Committee review the final design prior to installation.



Comment	Response / Revised
The pitched roof on the parapet is a desirable architectural feature, however, there are concerns that snow will shed into the pedestrian areas.	The applicant indicated that the pitched roof is at a relatively low angle (4:12) and there are landscaped areas below that will provide a buffer between the building and the sidewalk. Additionally, snow rails will be installed along the roof edge and a snow fence will be installed adjacent to the bus stop area to further protect the pedestrian area.
The proposed colors are generally consistent with the color handbook, but slightly darker shades would be desirable.	The original submittal proposed tan and ivory as the primary building colors. Based on the Design Committee and staff's comments, the applicant revised the building colors and proposed colors that were darker and more appropriate for the area. The revised colors are consistent with the Color Handbook and the Design Guidelines. See Attachment 2 – Materials Board for the proposed colors and Sheet A6 for the colored elevations.
The southwest corner of the building needs additional articulation so that it complements the rest of the building ( <i>The original building elevations reviewed by the Design Committee had a flat roof with no gable on the southwest corner</i> ).	The applicant revised the southwest corner of the building and added an additional gable roof section so that it matched the other portions of the building. The Design Committee reviewed this modification at the May 11 <sup>th</sup> meeting.

The Design Committee was supportive of moving the Project forward to the PEDC for consideration with the condition of approval that the final metal artwork design would come back to the Design Committee for final approval. All of the above items have been addressed and the modifications are shown in the attached project plans (Attachment 2).

## 7. Agency / Public Comments

The application has been routed to the Mammoth Community Water District (MCWD) and the Mammoth Lakes Fire Protection District (MLFPD). Comments were received from both agencies and have been incorporated into the project and/or conditions of approval in the attached resolution (Attachment 1). Comment letters from the MLFPD and MCWD are included as Attachment 5.

No public comments have been received.

## 8. Environmental Analysis

Staff determined that the Project is categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines §15332, In-Fill Development Projects. The Project qualifies for this exemption because the following criteria are met:

- a. The Project is consistent with the General Plan and Zoning Code because the Project meets the goals and purpose of the Downtown (D) zoning district and the Commercial 2 (C-2) Land Use Designation since the proposed use of the site provides a ground-level pedestrian friendly retail commercial use. The Project design proposes to place the building adjacent to the street for 60% of the street frontage and place the parking along the sides and rear of the building in order to frame the street and provide an animated, pedestrian friendly environment.
- b. The proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses. The Project sites are within the Town's Urban Growth Boundary (UGB); the sites total approximately 1.37 acres; and the sites are surrounded by retail, lodging, multi-family residential, and other urban uses.

- c. The Project sites have no value as habitat for endangered, rare, or threatened species since the site is heavily disturbed due to previous development that occurred on the site and the historic use of the sites for snow storage and temporary parking. Additionally, Condition of Approval 24 recommends completion of a nesting bird survey within three days of site disturbance to avoid disturbance of suitable nesting habitat.
- d. Approval of the Project would not result in any significant effects related to traffic, noise, air quality, or water quality since the Project is consistent with the size of development permitted for the site; the Project conforms or is required to conform to the Municipal Code requirements for noise, air quality, and parking; the Project conforms or is required to conform to Public Works standards for site grading, stormwater retention, and drainage; and the Project will be required to obtain all necessary permits for construction. Therefore, no significant effects on traffic, noise, air quality, or water quality will result from the proposed development of the site.
- e. The site can be adequately served by all required utilities and public services because all necessary utilities and services are currently provided or can be extended to the site. The Project plans were routed to the Mammoth Community Water District (MCWD) and the Mammoth Lakes Fire Protection District (MLFPD), and all comments received have been incorporated into the Project and/or conditions of approval. Additionally, at the time of building permit issuance, development impact fees (DIF) for police, vehicle circulation, storm drainage, and fire will be paid.

### **C. OPTIONS**

#### **Option 1.**

Adopt the attached Planning and Economic Development Commission Resolution, making the required CEQA, Municipal Code, and Subdivision Ordinance findings, and approving Design Review 16-012 and Lot Line Adjustment 16-002 with conditions as recommended by staff or with modifications.

#### **Option 2.** Deny Design Review 16-012 and Lot Line Adjustment 16-002.

Option 1 would approve the Project subject to the conditions included as Exhibit "A" to the attached resolution, or as modified by the Planning and Economic Development Commission.

Option 2 does not allow the Project to proceed with the planning process, unless an appeal is filed within 15 days of Planning and Economic Development Commission decision. The Commission would need to make findings for denial. If an appeal were to be filed, the Project would be scheduled for a Town Council hearing.

### **D. RECOMMENDATION**

Staff recommends that the Planning and Economic Development Commission choose Option 1:

Adopt the attached Planning and Economic Development Commission Resolution, making the required CEQA, Municipal Code, and Subdivision Ordinance findings, and approving Design Review 16-012 and Lot Line Adjustment 16-002 with conditions as recommended by staff or with modifications.

### **Attachments**

Attachment 1: Planning and Economic Development Commission Resolution

Attachment 2: Project Plans and Materials Board

Attachment 3: Certificate of Compliance for Lot Line Adjustment 16-002

Attachment 4: Design Committee Minutes from the December 20, 2016 and May 11, 2017 meetings

Attachment 5: Agency Comment Letters

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# **Attachment I**

## **Planning and Economic Development Commission Resolution**

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Recording Requested by and )  
When Recorded Mail To: )  
Town of Mammoth Lakes )  
Community & Economic Development Department )  
P.O. Box 1609 )  
Mammoth Lakes, CA 93546 )

Recordation fee exempt per Government Code §27383  
Space Above for Recorder's Use

**RESOLUTION NO. PEDC 2017-\_\_**

**A RESOLUTION OF THE MAMMOTH LAKES PLANNING AND  
ECONOMIC DEVELOPMENT COMMISSION  
APPROVING MAJOR DESIGN REVIEW 16-012 AND  
LOT LINE ADJUSTMENT 16-002  
FOR THE CONSTRUCTION OF AN APPROXIMATELY  
18,000 SQUARE FOOT GROCERY OUTLET STORE  
LOCATED AT 37 AND 77 OLD MAMMOTH ROAD  
(APNs: 035-120-007-000; 035-140-007-000)**

**WHEREAS**, a request for consideration of a major design review permit and lot line adjustment was filed by Best Development Group, LLC to construct an approximately 18,000 square-foot Grocery Outlet supermarket, in accordance with Chapter 17.88 (Design Review) of the Town of Mammoth Lakes Municipal Code and Chapter 17.37 (Lot Line Adjustments) of the Town's Subdivision Ordinance, for property located within the Downtown (D) zoning district at 37 and 77 Old Mammoth Road; and

**WHEREAS**, the Planning and Economic Development Commission conducted an administrative hearing on the application request on June 14, 2017, at which time all those desiring to be heard were heard; and

**WHEREAS**, the Planning and Economic Development Commission considered, without limitation:

1. The staff report to the Planning and Economic Development Commission with exhibits;
2. The Town of Mammoth Lakes General Plan, Municipal Code, Subdivision Ordinance, and Design Guidelines and the California Subdivision Map Act;
3. Oral evidence submitted at the hearing;
4. Written evidence submitted at the hearing;

5. Project plans consisting of: Sheet(s) A0 – A7 dated 5/31/2017; Civil Sheets 1 dated 8/29/2016, C1 dated 3/29/2017, C2 dated 5/31/2017, and C3 – C4 dated 3/29/2017; Landscape Plan Sheet LC-1 dated 5/26/2017; and the Materials Board date stamped received by the Town of Mammoth Lakes 4/19/2017; incorporated herein by reference;
6. The Legal Description of the parcels and the Lot Line Adjustment Sketches and Site Plan prepared by Triad/Holmes Associates and submitted with the lot line adjustment application request, incorporated herein by reference.

**NOW THEREFORE, THE PLANNING AND ECONOMIC DEVELOPMENT COMMISSION OF THE TOWN OF MAMMOTH LAKES DOES RESOLVE, DETERMINE, FIND AND ORDER AS FOLLOWS:**

**SECTION 1. FINDINGS.**

**1. CEQA.**

The project is categorically exempt from the California Environmental Quality Act (CEQA) pursuant to Guidelines Section 15332, In-Fill Development Projects, because the following criteria are met:

- a. The Project is consistent with the General Plan and Zoning Code because the Project meets the goals and purpose of the Downtown (D) zoning district and the Commercial 2 (C-2) land use designation since the proposed use of the site provides a ground-level pedestrian friendly retail commercial use. The Project design proposes to place the building adjacent to the street for 60% of the street frontage and place the parking along the sides and rear of the building in order to frame the street and provide an animated, pedestrian friendly environment.
- b. The proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses. The Project sites are within the Town's Urban Growth Boundary (UGB); the sites total approximately 1.37 acres; and the sites are surrounded by retail, lodging, multi-family residential, and other urban uses.
- c. The Project sites have no value as habitat for endangered, rare, or threatened species since the site is heavily disturbed due to previous development that occurred on the site and the historic use of the sites for snow storage and temporary parking. Additionally, Condition of Approval 24 recommends completion of a nesting bird survey within three days of site disturbance to avoid disturbance of suitable nesting habitat.
- d. Approval of the Project would not result in any significant effects related to traffic, noise, air quality, or water quality since the Project is consistent with the size of development permitted for the site; the Project conforms or is required to conform to the Municipal Code requirements for noise, air quality, and parking; the Project conforms or is required to conform to Public Works standards for site grading, stormwater retention, and drainage; and the Project will be required to obtain all necessary permits for construction. Therefore, no significant effects on traffic, noise, air quality, or water quality will result from the proposed development of the site.

- e. The site can be adequately served by all required utilities and public services because all necessary utilities and services are currently provided or can be extended to the site. The Project plans were routed to the Mammoth Community Water District (MCWD) and the Mammoth Lakes Fire Protection District (MLFPD), and all comments received have been incorporated into the Project and/or conditions of approval. Additionally, at the time of building permit issuance, development impact fees (DIF) for police, vehicle circulation, storm drainage, and fire will be paid.

## 2. MUNICIPAL CODE FINDINGS.

### FINDINGS FOR THE LOT LINE ADJUSTMENT

(Town Subdivision Ordinance Section 17.37.080)

- a. *The lot which will result from the proposed lot line adjustment conforms to the applicable general plan, zoning and building code regulations in effect in the area.*

The resulting parcel complies with the Town's Subdivision Ordinance and conforms to the General Plan and Title 17 (Zoning) of the Municipal Code because the parcel conforms to the lot area, lot width, and lot depth standards for lots in the Downtown (D) zoning district and the larger lot size that will result from the lot line adjustment allows for the development of a new retail commercial use consistent with the Commercial 2 (C-2) land use designation. There is no applicable specific plan for the area.

- b. *The proposed lot line adjustment does not appear, under the circumstances of the particular case, to be detrimental to the health, safety, convenience or general welfare of persons residing or working in the neighborhood or to the general welfare of the Town.*

The proposed lot line adjustment will not be detrimental health, safety, convenience or general welfare of persons residing or working in the neighborhood or to the general welfare of the Town because the proposed use and development is consistent with the Downtown (D) zoning district allowed uses and development standards; the project was found to be categorically exempt under CEQA Guidelines 15332, In-Fill Development Projects; and no evidence has been presented to indicate any health or safety issues exist on the property.

### FINDINGS FOR THE DESIGN REVIEW PERMIT

(Municipal Code Section 17.88.660)

- a. *The project is consistent with the applicable standards and requirements of the Municipal Code.*

The project is consistent with the Municipal Code because the project is within the Downtown (D) zoning district and the proposed supermarket use is a permitted use in the Downtown (D) zone. Additionally, the project is consistent with all applicable development standards, including, but not limited to: lot size requirements, setbacks, floor area ratio (FAR), building placement standards,



height standards, parking and loading standards, commercial district supplemental standards, and snow storage.

- b. *The project is consistent with the General Plan and any applicable specific plan or master plan.*

The project is consistent with the General Plan because the project is within the Commercial 2 (C-2) land use designation, which is intended for medium- to large-scale commercial uses. The proposed supermarket is a medium- to large-scale commercial use that is consistent with the allowed floor area ratio (FAR) and development standards for the area. The project is consistent with the Economy Element of the General Plan because it will provide additional retail food shopping options and will create full-time year-round jobs. The project is consistent with the Community Design Element of the General Plan because the project is consistent with the Town's Design Guidelines (*Policy C.2.I*); the building massing is broken up through building wall- and roof modulations (*Policy C.2.L*); the colors and materials are appropriate to the area (*Policy C.2.T*); the height is below the maximum allowed height for the Downtown (D) zone (*Policy C.2.V*); the proposed landscaping is consistent with the Town and State landscape regulations (*Policy C.4.D*); and the exterior lighting is required to comply with the Town's exterior lighting requirements (*Policy C.5.A*).

- c. *The project is consistent with the Town of Mammoth Lakes Design Guidelines.*

The project is consistent with the Town of Mammoth Lakes Design Guidelines because the site design is pedestrian friendly and minimizes conflicts between pedestrian and vehicular circulation through the clear separation of pedestrian and vehicle areas; the building mass is broken up by varying building forms, roofs and facades, and the variation in materials and colors; the entrance is accentuated through architectural elements and landscaping, and is easily identifiable; the colors and materials are consistent with the allowed materials and appropriate to the area; and the landscaping is native and drought-tolerant, and the proposed plant species are consistent with the plant guides for Mammoth Lakes.

- d. *The project is consistent with the following additional Design Review Criteria (Zoning Code §17.88.050):*

1. The site design and building design elements combine together in an attractive and visually cohesive manner that is compatible with and complements the desired architectural and/or aesthetic character of the area and a mountain resort community, encourages increased pedestrian activity, and promotes compatibility among neighboring land uses because the project is consistent with the standards for the Downtown (D) zone, the Commercial 2 (C-2) land use designation, and the Design Guidelines. Additionally, the project is compatible with neighboring uses since the height is consistent with the adjacent commercial properties; the site design encourages pedestrian activity because of its close proximity to Old Mammoth Road and the adjacent transit stop and the separation between pedestrian and vehicle areas; and the building

- façade has heavy-timber and steel accents that complement the mountain resort community.
2. The design of the streetscape is consistent with the character of the commercial district since the building height and size is at a scale that is appropriate for the area and frames the street; the materials and colors are varied to create visual interest; there are large storefront windows that will allow visibility into the store; and there is landscaping proposed that is appropriate for the region and will enhance the overall appearance of the streetscape.
  3. The parking area is located to the sides and rear of the building in order to minimize visibility and prevent conflicts between vehicles and pedestrians. Additionally, the project is adjacent to a transit stop and sidewalk, which will allow easy access for transit users and pedestrians. Stormwater run-off will be minimized through on-site stormwater infrastructure that is required to be consistent with the Public Works Town Standards.
  4. The project's outdoor lighting features are designed to complement the façade and provide for safety in the parking area. All exterior lighting is required to comply with the Town's outdoor lighting requirements.
  5. The proposed landscaping consists of native, drought-tolerant plants that are appropriate for the region and will enhance the architectural character of the building through their placement on the site and variations in size between trees and shrubs. Additionally, the landscaping will minimize the visibility of the parking area and screen the parking and loading areas from adjacent properties.

**SECTION 2. PLANNING AND ECONOMIC DEVELOPMENT COMMISSION ACTIONS.** The Planning and Economic Development Commission hereby takes the following actions:

1. Finds that this project is categorically exempt from the California Environmental Quality Act pursuant to Section 15332, In-Fill Development Projects; and
2. Approves Design Review 16-012 and Lot Line Adjustment 16-002 subject to the following conditions:  

(SEE EXHIBIT "A"); and
3. Directs staff to file a Certificate of Compliance for the Lot Line Adjustment; and
4. Directs staff to file a Notice of Exemption.

**PASSED AND ADOPTED** this 14<sup>th</sup> day of June 2017, by the following vote, to  
wit:

AYES:

NAYS:

ABSENT:

ABSTAIN:

ATTEST:

\_\_\_\_\_  
Sandra Moberly,  
Community and Economic Development  
Manager

\_\_\_\_\_  
Amy Callanan,  
Chair of the Mammoth Lakes Planning  
and Economic Development  
Commission

**NOTE:** This action is subject to Chapter 17.104 of the Municipal Code, which specifies time  
limits for legal challenges.

I, Terry Johnson, am the authorized signatory for Best Development Group, LLC and I do  
hereby attest that I have read, and agree to, the conditions of approval stipulated within this  
Resolution.

\_\_\_\_\_  
Terry Johnson, Best Development Group, LLC      Date  
(Notary Required)

**EXHIBIT "A"**  
**Resolution No. PEDC 2017-\_\_**  
**Case No. Design Review 16-012 and Lot Line Adjustment 16-002**

**PLANNING DIVISION CONDITIONS**

**STANDARD PLANNING CONDITIONS**

1. This approval authorizes the following: An approximately 18,000 square foot supermarket and lot line adjustment to merge 37 and 77 Old Mammoth Road. A parking lot with 49 surface parking spaces and a trash enclosure will be constructed as part of the project. The project design and colors shall be consistent with the project plans consisting of: Sheet(s) A0 – A7 dated 5/31/2017; Civil Sheets 1 dated 8/29/2016, C1 dated 3/29/2017, C2 dated 5/31/2017, and C3 – C4 dated 3/29/2017; Landscape Plan Sheet LC-1 dated 5/26/2017; and the Project Materials Board date stamped by the Town of Mammoth Lakes 4/19/2017.
2. This permit and all rights hereunder shall automatically terminate unless the business operation, site preparation or construction has been commenced within two years after the issuance of this permit and such work is diligently carried on until completion, or an extension of time has been granted in accordance with Municipal Code Section 17.60.060.B.
3. All new improvements constructed on the site shall be in compliance with all Town of Mammoth Lakes, County of Mono, Mammoth Community Water District, the Mammoth Lakes Fire Protection District, the CRWQCB Lahontan District, Great Basin Air Pollution Control District, OSHA, State of California and United States of America laws, statutes, ordinances, regulations, directives, orders, and the like applicable thereto and in force at the time thereof. Any violation of the above may constitute grounds for revocation under Chapter 17.128 of the Mammoth Lakes Municipal Code.
4. This resolution of approval, as conditioned herein, shall be recorded for the subject property by the Mono County Recorder's Office to commence the approved use on the property or the issuance of any building permits for new or remodeled structures.
5. The site shall be maintained in a neat, clean and orderly manner. All improvements shall be maintained in a condition of good repair and appearance. Outdoor storage of equipment and other materials, except for firewood, is prohibited. Non-operating vehicles, equipment and materials inappropriate to the site and its use shall not be stored within outdoor areas on the site.
6. Storage of construction materials and equipment off-site shall not be permitted without a permit issued by the Community and Economic Development Department of the Town. Any public or private property altered, damaged or destroyed by site preparation, grading, construction or use shall be restored to its pre-existing condition by the permittee.
7. All conditions of this permit shall be met or secured prior to final occupancy approval of any tenant improvements or new structures.

8. All uses are subject to review by the Building Official of the Town of Mammoth Lakes and must conform to occupancy ratings of the structures to obtain occupancy.
9. Town staff shall have the right to enter the subject property to verify compliance with these conditions. The holder of any permit associated with this project shall make the premises available to Town staff during regular business hours and shall, upon request make records and documents available to Town staff as necessary to evidence compliance with the terms and conditions of this permit.
10. Prior to the issuance of a building permit, the applicant shall pay Development Impact Fees and all other fees as prescribed by ordinance.
11. Where compliance with the conditions of approval or applicant initiated changes to the plans require additional staff review, that review time shall be billed at the Town's established billing rates. Prior to the issuance of a building or grading permit, the applicant shall pay all outstanding costs for the processing of this application.
12. The approved site and building plans shall be adhered to and maintained for the duration of the permit.
13. This action may be appealed to the Town Council within fifteen (15) calendar days from the date of Planning and Economic Development Commission approval in accordance with Municipal Code Chapter 17.104.
14. The applicant shall defend, indemnify, and hold harmless the Town and its agents, officers, and employees from any claim, action, or proceeding against the Town and its agents, officers, or employees to attack, set aside, void, or annul, an approval of the Town, advisory agency, appeal board, or legislative body concerning this approval. The Town shall promptly notify the applicant of any claim, action, or proceeding and shall cooperate fully in the defense.
15. All exterior lighting shall comply with Chapter 17.36.030 of the Town of Mammoth Lakes Municipal Code, Exterior Lighting. Exterior light fixtures having a total of over 400 lumens of output shall be equipped with shields that extend below the horizontal plane of the light source to direct the light downward onto the structure or surrounding grounds. This shall be verified prior to issuance of a certificate of occupancy.
16. A valid building permit and a permit from the Mammoth Lakes Fire Protection District are required before any work can begin on-site.
17. Water and sewer improvements require a construction permit from Mammoth Community Water District. Prior to the Town authorizing any construction, the applicant shall obtain water and sewer permits from Mammoth Community Water district and pay applicable fees to the District.
18. Zoning entitlement conditions of approval shall be printed verbatim on all of the working drawing sets used for issuance of building permits (architectural, structural,

electrical, mechanical, and plumbing) and shall be referenced in the index.

19. New or changed improvements, exterior illumination, elevations, designs, materials, or colors shall conform to the adopted Design Guidelines of the Town of Mammoth Lakes and will require review and approval from the Town of Mammoth Lakes Community and Economic Development Department or Planning and Economic Development Commission pursuant to Municipal Code Chapter 17.88 (*Design Review*).
20. A certificate of occupancy is required for all future tenant improvements within the subject structure. Tenant improvements shall identify occupancy separation requirements, disabled access requirements and compliance with all applicable building, electrical, plumbing, and fire code requirements.
21. Roof vents, exhaust, pipes and flues shall be combined and/or collected together and be out of public view to the greatest extent possible.
22. The public sidewalk and adjacent transit stop shall be maintained in a safe and usable condition during construction.
23. The trash enclosure shall have an appearance that is consistent with the primary structure and be constructed of similar materials and colors. All trash enclosures, receptacles, and food storage areas shall be animal resistant. Adequate space for recyclable materials shall be provided within the enclosure. The access for the trash enclosure shall comply with the requirements of Mammoth Disposal. This shall be reviewed and approved by the Community and Economic Development Department and the Public Works Department prior to issuance of a building permit and be verified for compliance prior to issuance of a certificate of occupancy.
24. Pursuant to the Federal Migratory Bird Treaty Act and California Fish and Game Code Sections 3503 and 3503.5, it is unlawful to take, possess, or needlessly destroy the nest or eggs of any bird or bird-of-prey, except as otherwise provided by the Fish and Game Code or any regulation made pursuant thereto. Completion of a nesting bird survey by a biologist with relevant qualifications within three days of initiation of site disturbance is recommended for projects that have the potential to disturb suitable nesting habitat, which may include riparian vegetation, mature trees, snags, and structures.

#### **SPECIAL PLANNING CONDITIONS**

25. Prior to issuance of a building permit, the final design of the metal artwork proposed for the north and west elevations shall be subject to review and approval by the Community and Economic Development Manager upon a recommendation of the Planning and Economic Development Commission Design Committee.
26. A sign permit will be required prior to installation of any signage, and all signage shall comply with Municipal Code Chapter 17.48 (Signs) and the Town's Design Guidelines. The monument sign will require approval from the Planning and Economic Development Commission Design Committee. Depending on the number and size of the signs, a Master Sign Program may be required.

27. Prior to issuance of a certificate of occupancy for the project, all required vehicle and bicycle parking shall be reviewed and approved by the Community and Economic Development Department and the Public Works Department for compliance with the Municipal Code requirements and the Public Works Town Standards. The minimum number of vehicle parking spaces required for the project is 49 spaces and a minimum of nine (eight short-term and one long-term) bicycle parking spaces are required.
28. A final snow storage management plan for the hauling of snow in accordance with Municipal Code Section 17.36.110.B(3)(a) shall be submitted by the applicant and approved by the Community and Economic Development Department and Public Works Department. A covenant and agreement shall be recorded on title agreeing to remove snow from all required parking areas prior to issuance of a certificate of occupancy.
29. The employer shall encourage employees to use alternative transportation when traveling to work.
30. The Legal Description and Lot Line Adjustment Sketches and Site Plan shall be recorded with the Certificate of Compliance to merge the two subject parcels by the Mono County Recorder's Office prior to development of the site. Evidence of recordation shall be provided to the Town.
31. A landscape documentation package shall be required prior to issuance of a building permit and shall be consistent with the Preliminary Landscape Plan dated 5/26/2017. Said landscape documentation package shall conform with the requirements identified in Municipal Code Chapter 17.40 (Water Efficient Landscape Regulations).

All required landscaping and irrigation improvements shall be completed prior to the issuance of a certificate of occupancy for the project. A form of security listed in Government Code Section 66499(a) and acceptable to the Town shall be posted with the Town to the satisfaction of the Community and Economic Development Department for any required landscaping and irrigation improvements to be deferred and a schedule shall be submitted to the town for the construction of the deferred improvements. Deferral of the construction of any landscaping and/or irrigation improvements shall be at the sole discretion of the Community and Economic Development Department Director.

#### **SPECIAL FIRE DISTRICT CONDITIONS**

32. A fire hydrant on the east side of Old Mammoth Road within 50 feet of the fire sprinkler control room shall be provided. This shall be reviewed and approved by the Mammoth Lakes Fire Protection District prior to issuance of a building permit and installation shall be verified prior to issuance of a certificate of occupancy.
33. The structure shall comply with the Town and Mammoth Lakes Fire Protection District propane gas installation requirements. An isolation valve in the street and an excess flow/earthquake valve will be required as part of the installation.

34. The parking lot shall have adequate lighting for the safety of those using the parking lot and for emergency operations. All applicable requirements of Municipal Code Section 17.36.030 (Exterior Lighting) shall be met.
35. A Knox box shall be provided at each public exit.
36. A manual and automatic, fully addressable and electronically supervised fire alarm system shall be installed.
37. All fire department equipment rooms and utility rooms shall be signed and identified.

### **SPECIAL ENGINEERING CONDITIONS**

38. If any of the retaining wall cuts require site work beyond the subject property lines, a right of entry permit from the adjacent property owner(s) shall be required prior to any site disturbance on those properties.
39. The applicant shall obtain an engineered grading permit for the grading work and improvements required for the project prior to building permit issuance. In addition to the application, fee, and grading plans, the submittal shall include:
  - a. A Stormwater Pollution Prevention Plan (SWPPP) and National Pollutant Discharge Elimination System (NPDES) permit.
  - b. A Great Basin Air Pollution Control District (GBAPCD) permit.
  - c. A soils report for the subject site(s) and containing recommendations for retaining walls and foundation support for adjacent structures during construction.
40. A tree removal plan shall be approved prior to any land disturbance and the issuance of a grading or building permit. A pre-construction meeting shall be held on-site prior to any land disturbance to inspect clearing limit fencing. The applicant shall obtain the necessary Timber Harvest Permit prior to any tree removal.
41. The grading plan shall include tree protection measures to address how construction can occur with minimal disturbance to the drip-line of retained trees. The drip-line areas shall be "fenced" off with barriers to prevent disturbance during site grading. Additionally, finish grading shall minimize disturbance of existing understory vegetation and retained trees. Grading operations shall not commence until all erosion control measures and tree protection measures are in place as shown on the approved plan, and as required by the Town.
42. The project shall comply with the Guidelines for Erosion Control in the Mammoth area. This shall include submittal of a Report of Waste Discharge, if applicable.
43. All driveways shall be constructed in accordance with the driveway standards of the Town.
44. All export shall be taken to, and all import shall be taken from a permitted site, which shall be identified at grading permit issuance. The applicant shall prepare a haul route, subject to the approval of the Public Works Director prior to the import or export of material for the site.



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# **Attachment 2**

## **Project Plans and Materials Board**

Note: Full size (42x30) versions are available online at:  
<http://www.townofmammothlakes.ca.gov/DocumentCenter/View/6588>

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May 31, 2017

المشروع



**PROPERTY I**

**PROJECT ADDR**  
37, OLD MAMMOTH  
MAMMOTH LAKE  
**APN:** 035-1  
**LAND AREA:**

LOT 37 = .91 /  
LOT 27 = .46 /  
**ZONING:**

**FLOOR AREA RA**

**PROJECT INF**

**USE:** RETAIL  
**GROUP:** MASOY  
**CONSTR.:**  
**PROTECTION:**

**SUBMITTAL - SHI**

- A0 COVER SHEET - I
- A1 SITE PLAN & BUI
- A2 FLOOR PLAN - SI
- A3 FLOOR PLAN - FI
- A4 ROOF PLAN
- A5 BUILDING SECTK
- A6 EXTERIOR ELEV/
- A7 CONTEXT EXTER
- 1 SITE SURVEY
- C1 TITLE SHEET
- C2 PRELIM. GRADIN
- C3 PRELIMINARY UT
- C4 PRELIMINARY RE
- LC1 LANDSCAPE CON

**SITE SUMMARY :**

**BUILDING FOOTPRINT**  
GROSS LEASE SHELL = 18,000 S.F.  
ENTRY VESTIBULE = 884 S.F.  
COVERED "PORCH" = 247 S.F.  
COVERED TRUCK DOCK = 480 S.F.  
EQUIP. ENCLOSURE = 284 S.F.  
**TOTAL BLDG. FOOTPRINT = 19,855 S.F.**  
"DELIVERY" AVNING = 106 S.F.  
TRASH ENCLOSURE = 224 S.F.  
TRUCK DOCK RAMP = 934 S.F.  
MISC. CONC. FLATWORK = 2,488 S.F.  
AC PAVED (PARKING/DRIVES) = 27,999 S.F.  
LANDSCAPED PLANTERS = 7,435 S.F.  
PUBLIC WALK / BUS STOP = 739 S.F.  
**TOTAL SITE (GROSS) = 59,082 S.F.**

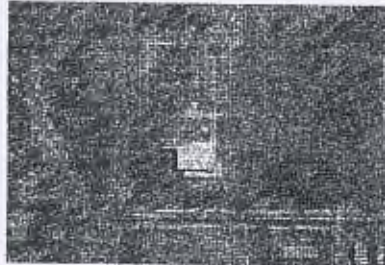
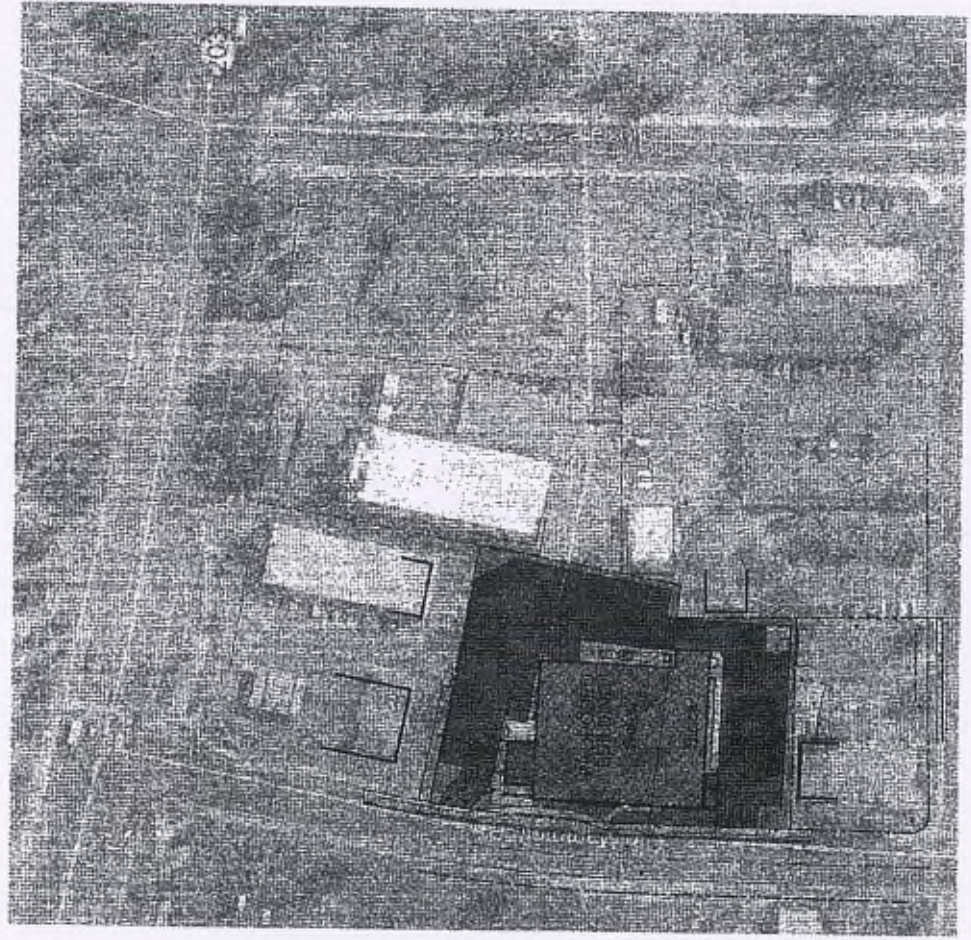
**PARKING: (SEE SHEET A1 FOR CALCS)**  
**REQUIRED =** 49 SPACES  
**PROVIDED =** 48 SPACES

**PROJECT TEAM :**

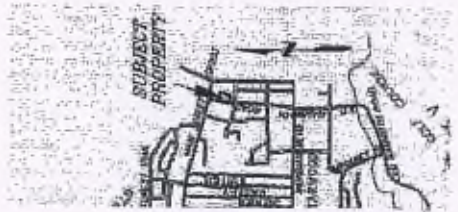
**DEVELOPERS**  
BEST DEVELOPMENT GROUP  
2680 SIERRA BLVD., SUITE # E  
SACRAMENTO, CA 95825  
916-486-2884  
**CONTACT: TERRY JOHNSON**

**ARCHITECT**  
HMR ARCHITECTS  
2130 21ST STREET  
SACRAMENTO, CA 95818  
916-736-2724  
**CONTACT: RANDY REEVES, PM**

**CIVIL / SURVEY**  
TRIAD/HOLMES ASSOCIATES  
873 NORTH MAIN STREET #150



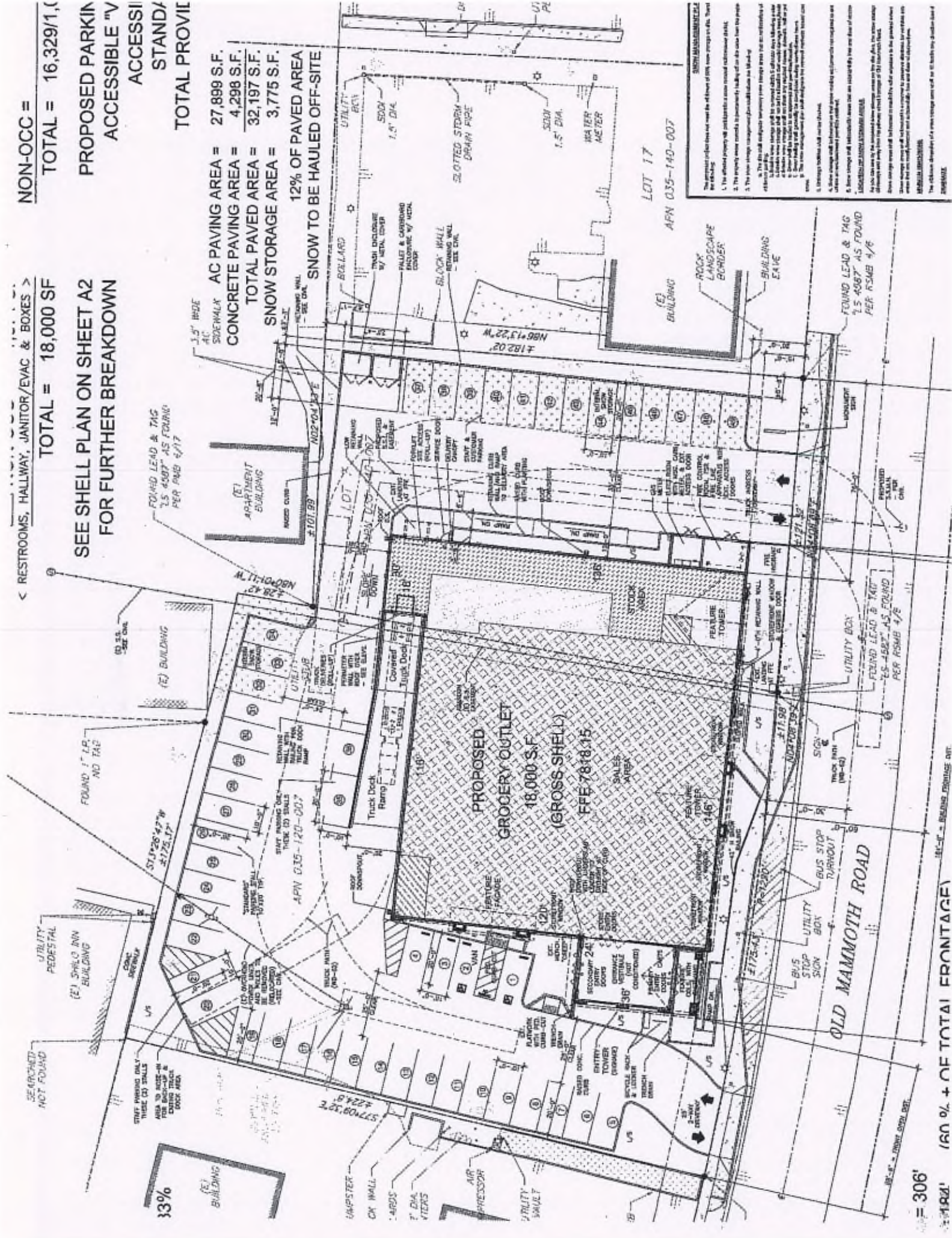
**MAP**



< RESTROOMS, HALLWAY, JANITOR/EVAC & BOXES >  
**TOTAL = 18,000 SF**  
 SEE SHELL PLAN ON SHEET A2  
 FOR FURTHER BREAKDOWN

NON-OCC =  
**TOTAL = 16,329/1,1**  
 PROPOSED PARKING  
 ACCESSIBLE "V"  
 ACCESSIBLE  
 STANDALONE  
 TOTAL PROVISIONS

AC PAVING AREA = 27,899 S.F.  
 CONCRETE PAVING AREA = 4,298 S.F.  
**TOTAL PAVED AREA = 32,197 S.F.**  
 SNOW STORAGE AREA = 3,775 S.F.  
 12% OF PAVED AREA  
 SNOW TO BE HAULED OFF-SITE



**GENERAL NOTES:**

- The project shall be in accordance with the City of Los Angeles Department of Public Works, Division of Engineering, Standard Specifications for Street and Sanitary Sewerage.
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60% + OF TOTAL FRONTAGE  
 306'  
 192'  
 306'

COVERED TRUCK DOCK -  
Equipment Enclosure = 360 SF  
TOTAL FOOTPRINT = 19,951 SF

400 SF  
Equipment Enclosure = 360 SF  
TOTAL FOOTPRINT = 19,951 SF

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**FLOOR PLAN LEGEND**

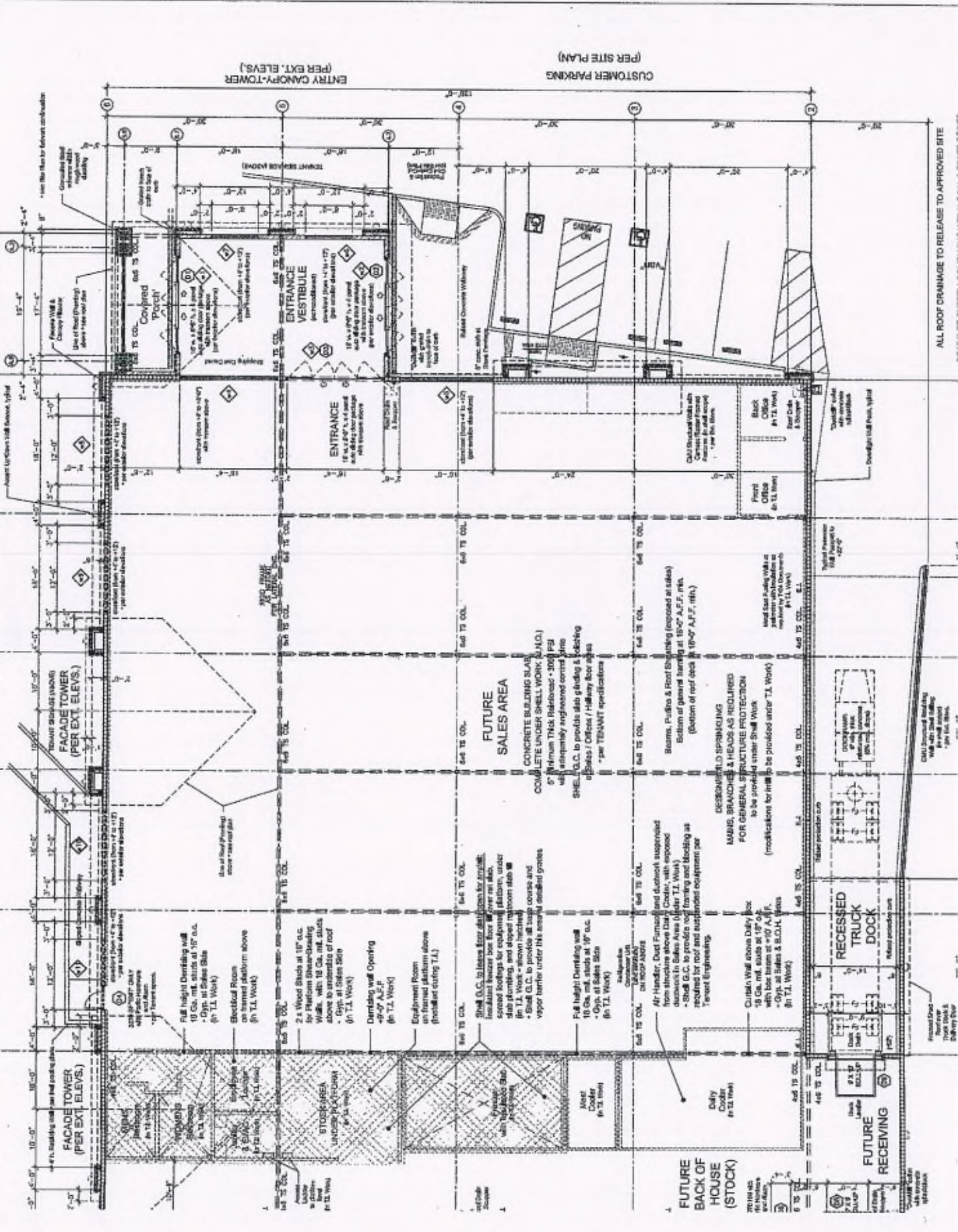
- 1. ROOF FRAMES & MEMBERS (PER SHELL TO EXIST)
- 2. STRUCTURE/CLADDING/ROOF (PER SHELL TO EXIST)
- 3. MASONRY WALL DIVISION

**FLOOR PLAN - GENERAL CONTRACT**

1. DIMENSIONS SHOWN ARE TO THE FACE OF WOODWORK/SUBSTRATE - SPECIFICALLY NOTED.
2. ALL MATERIALS SHALL BE STORED PROPERLY AND PROTECTED FROM WEATHER. ALL MATERIALS SHALL BE KEPT DRY TO UNLESS SPECIFIED OTHERWISE.
3. ALL MEASUREMENTS AT EXTERIOR AND INTERIOR SHALL BE TO THE FACE OF WOODWORK/SUBSTRATE.
4. ROOF FRAMES AND EXTERIOR INSULATION SHALL BE INSTALLED AT THE PROJECT SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING UTILITIES AND ANY OTHER EQUIPMENT AND MATERIALS UNDER THE T.I. WORK.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING UTILITIES AND ANY OTHER EQUIPMENT AND MATERIALS UNDER THE T.I. WORK.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING UTILITIES AND ANY OTHER EQUIPMENT AND MATERIALS UNDER THE T.I. WORK.
7. ILLUMINATED BUILDING SIGNAGE SHALL BE INSTALLED AT THE PROJECT SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING UTILITIES AND ANY OTHER EQUIPMENT AND MATERIALS UNDER THE T.I. WORK.
8. SEE PROJECT SITE PLAN FOR A FULL LIST OF MATERIALS, FINISHES, AND SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING UTILITIES AND ANY OTHER EQUIPMENT AND MATERIALS UNDER THE T.I. WORK.

**FLOOR PLAN - TYPICAL**

1. TYPICAL FORMER HALL W/ SELF SUPPORTING MASONRY
2. FRAMED TRUSS FLOORING W/ STEEL/WOOD COLUMN - FC
3. STEEL/WOOD FRAMED ROOF
4. CONCRETE LANDING/WALKWAY
5. CONCRETE WALKWAY/RAMP
6. 8" CONCRETE WALKWAY/PLA
7. WALL BASE PROTECTION ON CONCRETE FLEED PPE PRO
8. TRIMMED EDGES AT FLOOR TRAFFIC - PER ARCHITECT
9. ROOF DRAIN & RAIN LEADER
10. RAIN LEADER THROUGH WALL
11. TRIMMED EDGES AT FLOOR TRAFFIC - PER ARCHITECT
12. PRE-CAST (ON SITE-BUILT) CONCRETE WALKWAY/RAMP
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100. PRE-CAST (ON SITE-BUILT) CONCRETE WALKWAY/RAMP



ALL ROOF DRAINAGE TO RELEASE TO APPROVED SITE

**THIS SIDE FACES OLD MAMMOTH ROAD  
- PER SITE DRAWINGS**

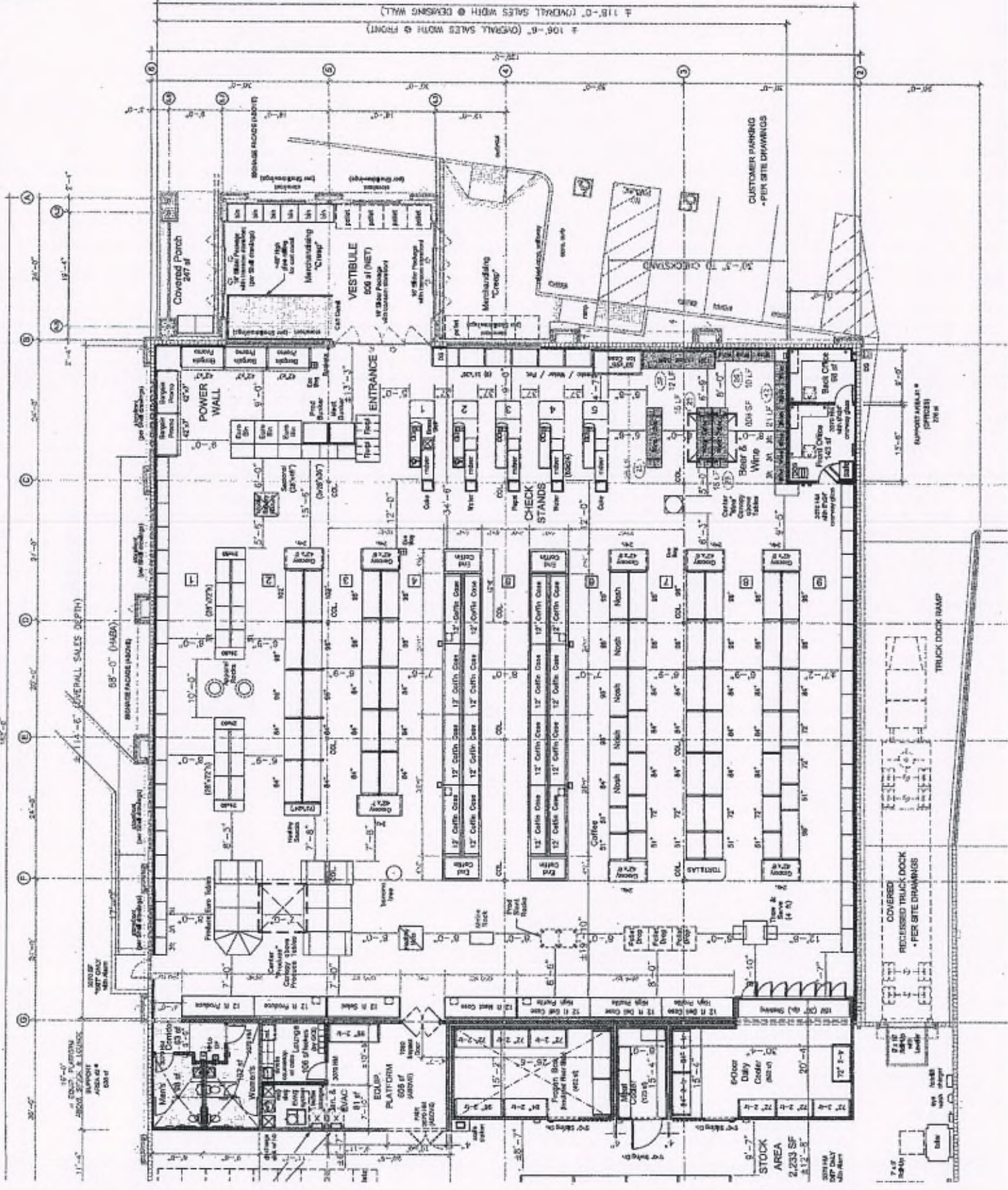
- = T.I. Insulated Full
- = T.I. Insulated Partial
- = T.I. COOLER WALL

DUMPER - DUMPING OUT MATERIALS  
(--- @ HBC - per plan)

SHOWER 4" Sahara Color

SHOWER 4" Sahara Color

SHOWER 4" Sahara Color



- BUILDING C**
- SALES (NE)
- STOCK (NE)
- BOXES (NE)
- SUPPORT/MIS
- SHELL (GROS)
- EQUIP. PLATFOF
- BUILDING**
- SHE
- ENTRY VESTIBU
- COVERED PORC
- COVERED DOC
- EQUIP. ENCLOSUF
- TOTAL FOOTPRIP

A1  
SALI  
B.O.

STOCK  
AREA  
2,233 SF  
51'-0" x 43'-0"

COVERED  
REGULATED TRUCK DOCK  
- PER SITE DRAWINGS

TRUCK DOCK RAMP

CUSTOMER PARKING  
- PER SITE DRAWINGS

± 106'-6" (OVERALL SALES WIDTH @ FRONT)

± 118'-0" (OVERALL SALES WIDTH @ DEWING WALL)

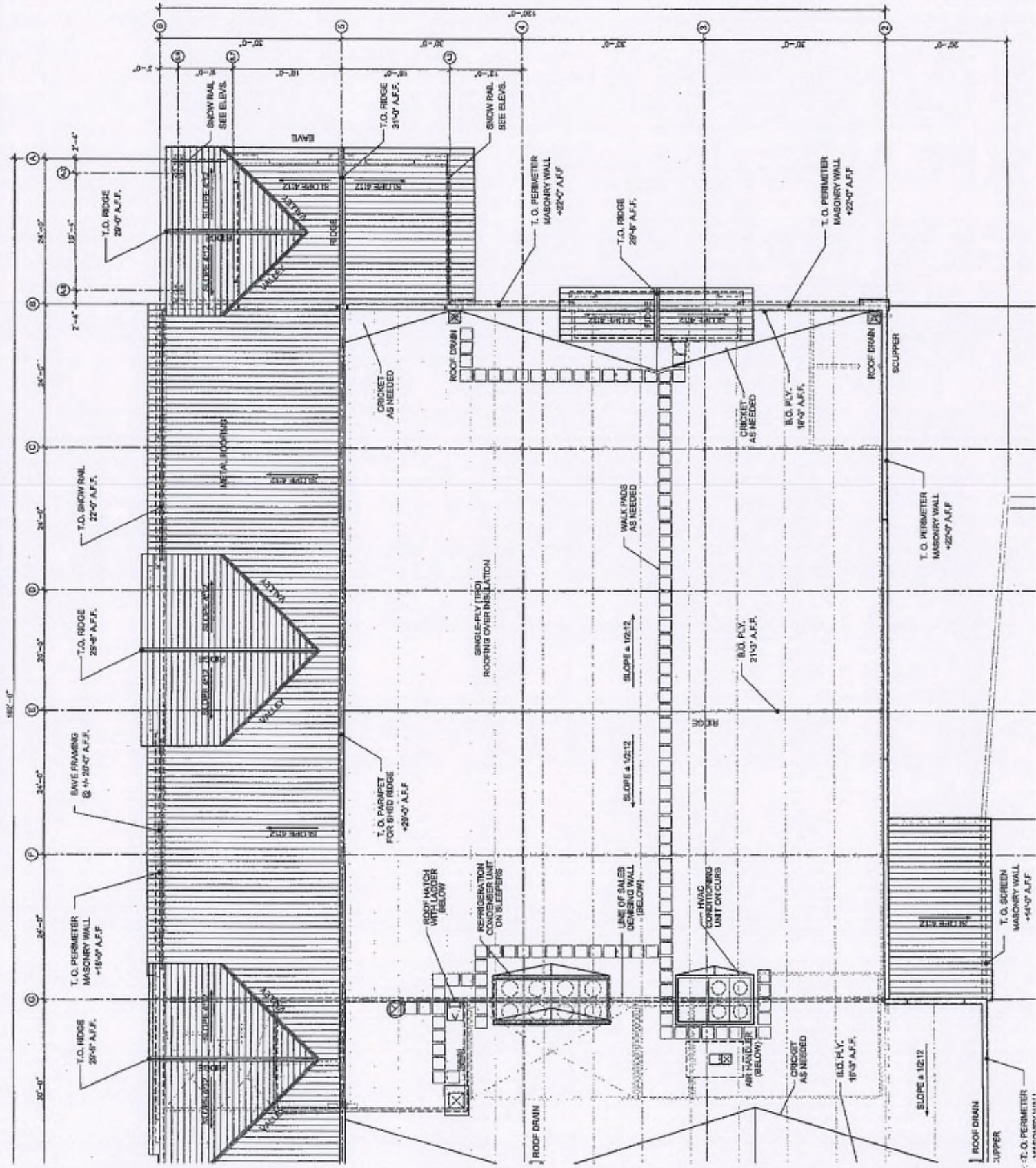
± 114'-6" (OVERALL SALES DEPTH)

± 17'-0" (COVER PLATFOF)  
± 20'-0" (STOCK AREA)  
± 23'-0" (SUPPORT)

DATE: 08/14/08  
BY: J. DAILY

(INCLUDES OVERHANGS)

THIS SIDE FACES OLD MAMMOTH ROAD



G.C. TO PROVIDE MA  
SPECIFICATIONS AN  
SINGLE PLY SYSTEM  
MECHANICAL FASTE  
OR "FLAT" ROOF ARI  
ADHERED INSTALLA  
TERMINATION BARS  
NECESSARY) AT ALL  
SURFACES.

ALL MEMBRANE ROC  
SHALL BE OF SAME I  
AND APPLIED/INSTA  
MANUFACTURER RE  
FULLY CERTIFIED RC

ROOFING MANUFAC  
EVERGARD TPO (BY  
VERSILED TPO (BY  
-OR PRE-APPROVEI

G.C. TO PROVIDE RC  
(PER GAF DRAWING  
OTHER MFR.) AS SH

G.C. TO VERIFY AND  
TENANT IMPROVEME  
FOR FINAL PLACEME  
MAINTAIN CLEARANC  
MECHANICAL EQUIP  
PLATFORM TO BE DE  
UNDER STORE DESK

**METAL ROOFING**

CLASS 'A'

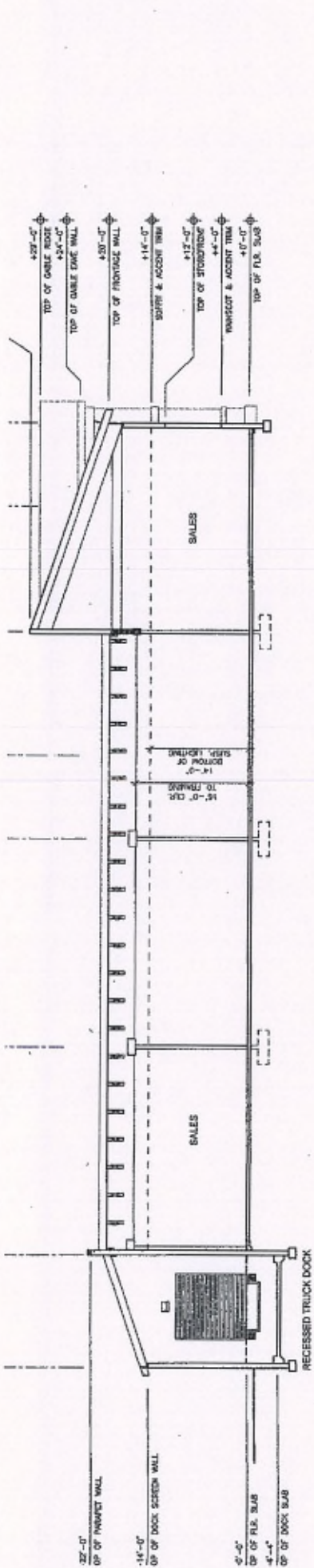
STRUCTURAL RIB PA  
INSULATION OVER V  
OVER ROOF SHEATH

G.C. TO PROVIDE MA  
SPECIFICATIONS AN  
SYSTEM & FLASHING  
FASTENING.

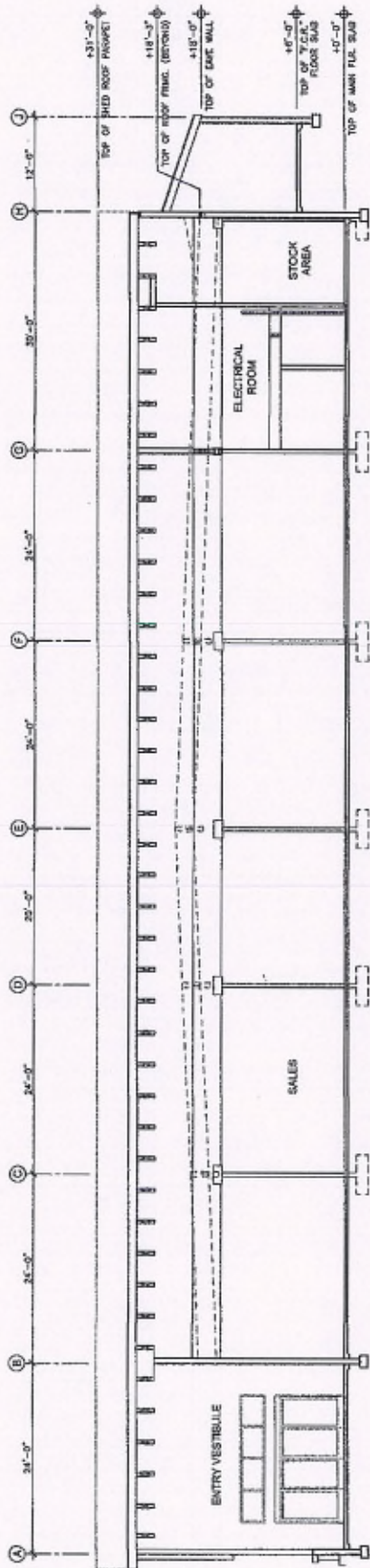
ALL METAL ROOFING  
SHALL BE OF SAME I  
AND APPLIED/INSTA  
MANUFACTURER RE  
FULLY CERTIFIED RC

ROOFING MANUFAC  
AEP SPAN (21 GA. X  
PRE-APPROVED EQ

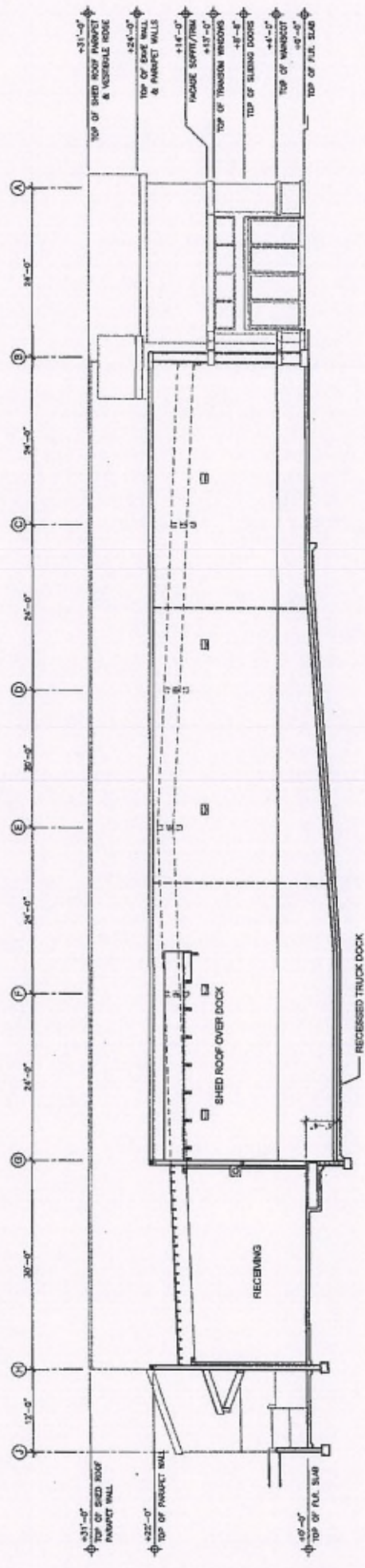




SECTION A-A

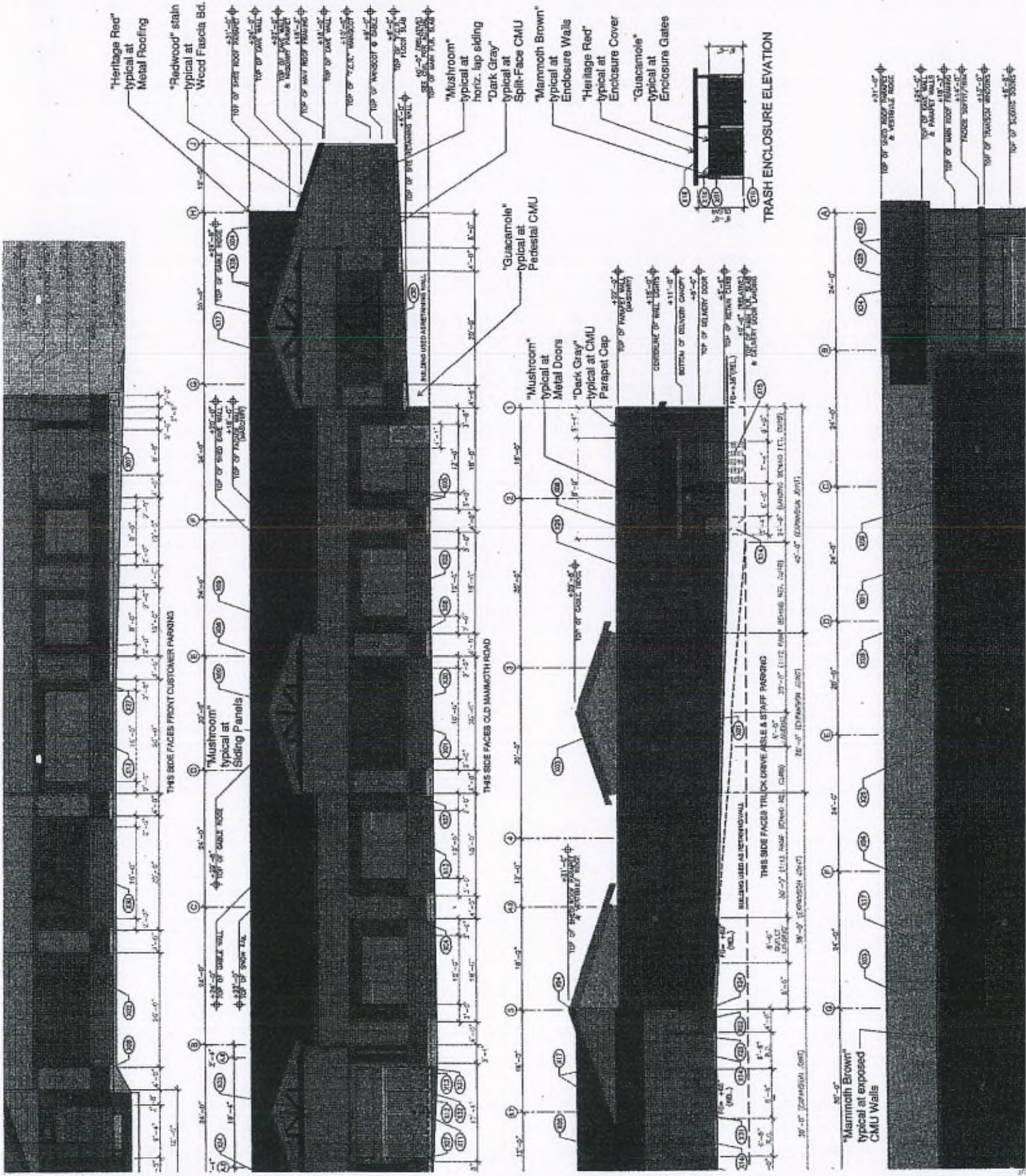


SECTION B-B



EXTERIOR ELEVATIONS

- 100 PROPOSED TENANT SIGNAGE /
- 101 EXPANDED PRECISION CAP -
- 102 EXPANDED SPILT FACE CMU W
- 103 INSIDE PANEL SIGN - 5/8"
- 104 INSIDE HORIZONTAL LAP SEE
- 105 INSIDE TRIM - PAINT PER SI
- 106 WOOD FINISH / GABLE TRIM
- 107 ROUGH WOOD CLAS COLUMN
- 108 PRECISION CAP SILL TRIM -
- 109 G. HANDED CAP / FLUSHING
- 110 FINISH CONCRETE PROTECTION
- 111 STEEL SANDING AT JOINTS -
- 112 AUTOMATED SLIDING DOOR FN
- 113 CLEAR ANODIZED ALUMINA
- 114 SINGLE PANEL, TYPIFIED A
- 115 SUGGESTION / TRANSOM
- 116 CLEAR ANODIZED ALUMINA
- 117 DUAL FRAME NON-TINTED G
- 118 HOLLOW METAL DOOR AND FI
- 119 ROLL-UP DOOR - PAINT PER
- 120 PIPE ISOLATED - PAINT SAFE
- 121 FINISHED STAIRWAY SIGN
- 122 METAL SANDING AND HUBLE F
- 123 PAINT PER SCHEDULE
- 124 TUBE STEEL AND METAL DOO
- 125 PAINT PER SCHEDULE
- 126 OVERFLOW SCOFFER (PER RC
- 127 "DUBBLE" BULLET (PER RC
- 128 PRE-CAST CONCRETE SPAND
- 129 WERE-UP IN LIQUIDABLE ROO
- 130 GAS METER - PER PROVIDER
- 131 ELECTRICAL SWITCHGEAR / S
- 132 DOWNLIGHT WALL SOURCE L
- 133 DOWNLIGHT WALL SOURCE L
- 134 FACTORY PAINT PER SCHED
- 135 DASHED LINE NECESSARY WALL
- 136 ROOF MOUNTED RETROFITING
- 137 BUILDING ACCESSIBLE EXTRA
- 138 BUILDING ADDRESS NUMBERS
- 139 TO BE PLACED IN BACK A
- 140 FROM THE STREET AND
- 141 - 12" MIN. HIGH WITH 3/8"
- 142 - CHARACTER SHALL BE ON
- 143 - ILLUMINATED AS REQUIRED
- 144 SHOP FILL - PAINT TO MATCH



"Heritage Red" stain typical at Metal Roofing

"Redwood" stain typical at Wood Fascia Bd.

"Mushroom" typical at horiz. lap siding

"Dark Gray" typical at Split-Face CMU

"Mammoth Brown" typical at Enclosure Walls

"Heritage Red" typical at Enclosure Cover

"Guacamole" typical at Enclosure Gates



TOP OF GABLE ROOF TRIMMER & VENTILATE ROOF

TOP OF GABLE WALL & PARAPET WALLS

TOP OF GABLE ROOF TRIMMER

INSIDE TRIM/ROOF

TOP OF TRIMMER BRICKS

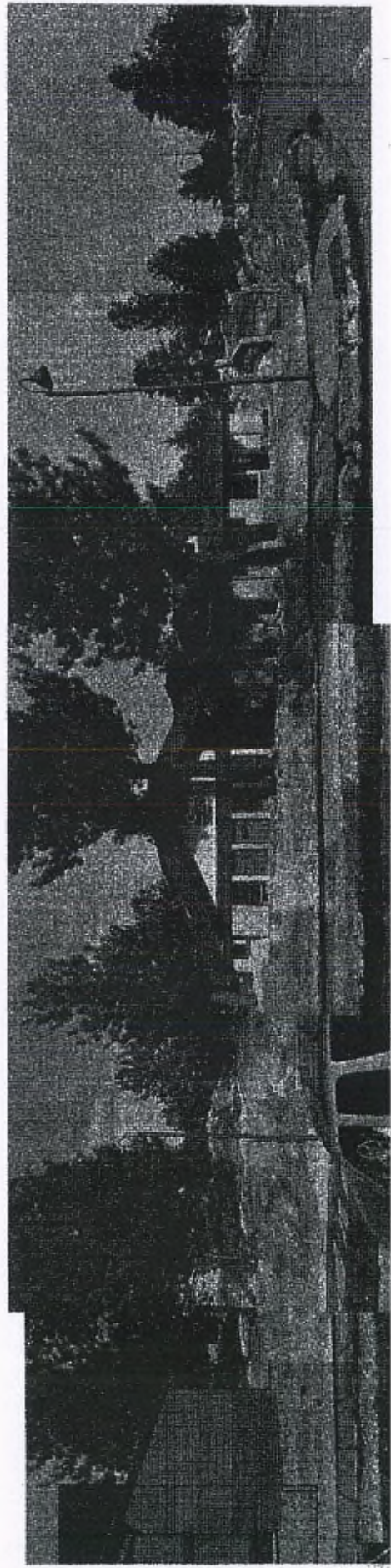
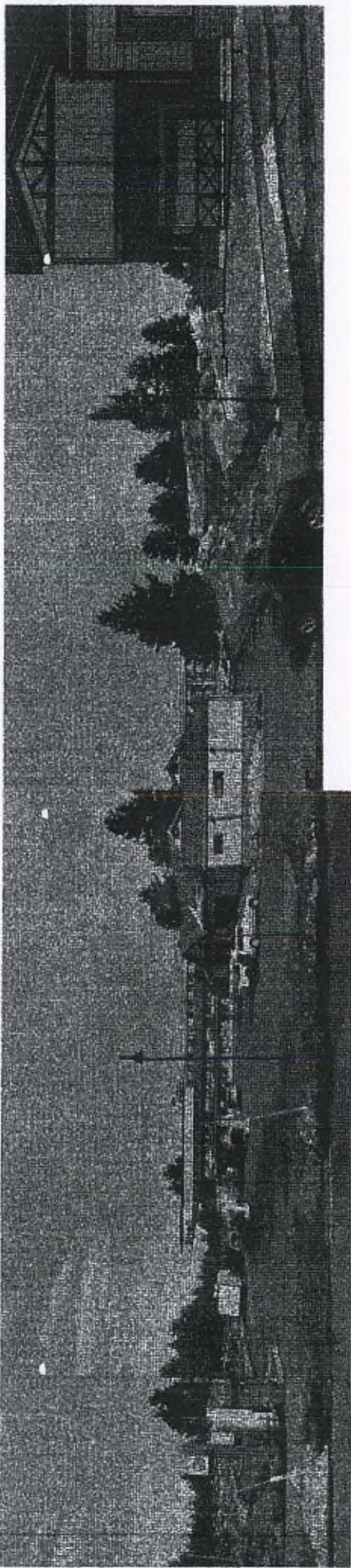
TOP OF TRIMMER BRICKS

THIS SIDE FACES FRONT CUSTOMER PARKING

THIS SIDE FACES OLD MAMMOTH ROAD

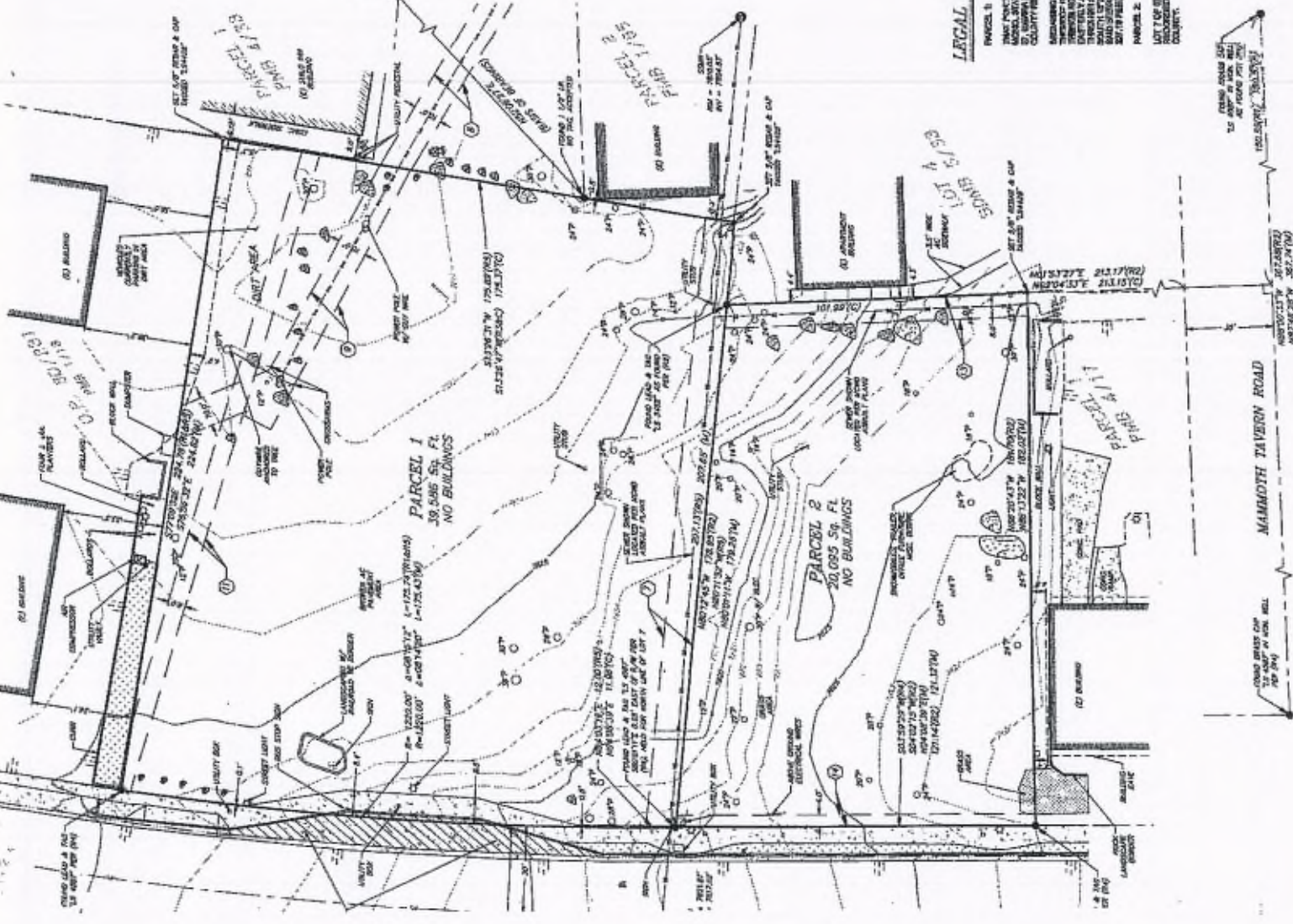
THIS SIDE FACES TRUCK DRIVE ASLE & STAFF PARKING

"Mammoth Brown" typical at exposed CMU Walls



**REQUESTED TABLE A ITEMS**

1. MONUMENT PLACED ON A REFERENCED MONUMENT OR FINNICE TO THE CORNERS AT ALL MOUNT CORNERS OF THE BOUNDARY OF THE PROPERTY UNLESS ALREADY PLACED OR IDENTIFIED BY EXISTING MONUMENTS OR FINNICES IN CLOSE PROXIMITY TO THE CORNER. - SEE MAP FOR FOUND AND PLACED CORNER.
2. ADDRESS(ES) OF THE SURVEYED PROPERTY IS DISCLOSED IN DOCUMENTS PROVIDED TO OR OBTAINED BY THE SURVEYOR OR OBSERVED WHILE CONDUCTING THE FIELDWORK. - 37 OLD MAMMOTH ROAD, MAMMOTH LAKES, CA 93249 AND 77 OLD MAMMOTH ROAD, MAMMOTH LAKES, CA 93249.
3. STRESS LAND AREA - SEE MAP
4. ORIGINAL RECORD WITH THE SOURCE OF INFORMATION, CONVERSE INTERNAL, GUTMIL AND SHOWN PROFESSIONALLY MONUMENTED. - METEORICAL REFLECTOR SHOWN TO BE FOUND SURVEY POINT LOCATED AUGUST 2016, CONTAINS INTERNAL IS 1-FOOT DIALUM IS TOWN TOP OF MOUNTAIN LAKES IN WELL LOCATED EAST EAST OF ADJACENT ENTRANCE TO MAMMOTH LAKES USFS OFFICE. ELEVATION = 7857.53 FT.
11. LOCATION OF UTILITIES EXISTING ON OR SERVING THE SURVEYED PROPERTY - SEE MAP. THE EXISTING SURFACE UTILITIES AS SHOWN HEREON HAVE BEEN LOCATED BY FIELD SURVEY.



**SURVEYOR'S NOTES**

1. THIS MAP WAS PREPARED BASED ON INFORMATION OBTAINED IN A FIELD SURVEY UNDERTAKEN ON AUGUST 16, 2016.
2. THIS MAP WAS PREPARED IN CONFORMANCE WITH A PROFESSIONAL SURVEYING REPORT FILED IN THE PUBLIC RECORDS OF CALIFORNIA COUNTY OF INYO, PREPARED BY ME, DATED AUGUST 4, 2016. SAID REPORT IS PREPARED TO BE COMPLETE AND ACCURATE. THIRD-PARTY CANNOT WARRANT THE ACCURACY OR COMPLETENESS OF SAID PROFESSIONAL REPORT.
3. THE FOLLOWING EXCEPTIONS TO CONVERSE AS SET FORTH IN THE SUBJECT PROFESSIONAL SURVEYING REPORT HAVE BEEN INCORPORATED INTO THIS MAP: ITEM NUMBERS 1, 2, 3, 4, 5, 12, 15 AND 16.

**EASEMENT NOTES**

- THE EASEMENTS CORRESPONDING TO THE EXCEPTIONS TO CONVERSE AS LISTED IN PRELIMINARY TITLE REPORT NO. 189526, DATED OCTOBER 1, 2015.
1. EASEMENT FOR EASEMENT SERVICES IN FAVOR OF MAMMOTH COUNTY WATER DISTRICT PER SERVA PARK, NO. 5/21.
  2. EASEMENT FOR CONDUITS AND PILES IN FAVOR OF SOUTHERN CALIFORNIA Edison COMPANY PER 121709 O.R. DATED MAY 21, 1971.
  3. EASEMENT FOR ELECTRICAL, SURVEY, FIREWORK AND COMMUNICATION SYSTEMS IN FAVOR OF SOUTHERN CALIFORNIA Edison COMPANY PER 121709 O.R. DATED MAY 21, 1971.
  4. EASEMENT FOR ELECTRICAL SURVEY SYSTEMS AND COMMUNICATION SYSTEMS IN FAVOR OF SOUTHERN CALIFORNIA Edison COMPANY PER 121709 O.R. DATED MAY 21, 1971.
  5. EASEMENT FOR SURVEY SERVICES IN FAVOR OF MAMMOTH COUNTY WATER DISTRICT PER SERVA PARK, NO. 5/21.
  6. EASEMENT FOR STREET IMPROVEMENTS, SIDEWALK, BUS STOP, UTILITY LANDSCAPE AND SIGN STOPPING SPACES IN FRONT OF THE HOME OF MAMMOTH LAKES PER 121709 O.R. DATED MAY 21, 1971.

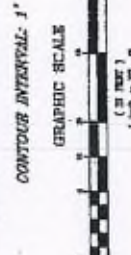
THE FOLLOWING EASEMENTS BURDEN THE SUBJECT PROPERTY BUT CANNOT BE LOCATED

1. EASEMENT FOR OVERHEAD CONSTRUCTION AND MAINTENANCE OF AERIAL AND UNDERGROUND TELEPHONE, TELEGRAPH, AND COMMUNICATION STRUCTURES IN FAVOR OF INTERNATIONAL TELEPHONE COMPANY PER 79,230 O.R. DATED MARCH 14, 1968.
2. EASEMENT FOR STREET IMPROVEMENTS, SIDEWALK, BUS STOP, UTILITY LANDSCAPE AND SIGN STOPPING SPACES IN FRONT OF THE HOME OF MAMMOTH LAKES PER 121709 O.R. DATED MAY 21, 1971.

**LEGAL DESCRIPTION**

PARCEL 1  
 THAT PORTION OF SECTION 16, TOWNSHIP 4 NORTH, RANGE 6 WEST, RANGE 16E, IN THE COUNTY OF INYO, STATE OF CALIFORNIA, ACCORDING TO THE PRELIMINARY TITLE REPORT NO. 189526, DATED OCTOBER 1, 2015, AND 11% OF TABLE A, HEREON, IS THE SUBJECT PROPERTY AS SHOWN ON THIS MAP.

PARCEL 2  
 LOT 7 OF SERVA PARK, SUBDIVISION IN THE COUNTY OF INYO, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 628 MAPS, PAGE 58 IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.



**LEGEND**

PROPERTY LINE	(RL)	RECORD NO. PER PAR 1
EDGE OF PAVEMENT	(R2)	RECORD NO. PER PAR 2
ADJACENT PROPERTY TO ORIGINARY MARKET	(R3)	RECORD NO. PER PAR 2
PIKE (FORBIDDEN)	(R4)	RECORD NO. PER PAR 1
PIKE (WALKER BUY)	(R5)	RECORD NO. PER PAR 2
WASHINGTON CONTROL	(C)	DECEASED
SEWER MANHOLE	(M)	ACCESSION
POWER POLE	(P)	CONCRETE
LIGHT TOWER	(L)	CONCRETE
UTILITY POLE	(U)	CONCRETE
FOUND SURVEY MONUMENT AS NOTED	(F)	CONCRETE
ENGINEERING STRUCTURES	(E)	CONCRETE
PLASTER AREA OR GRASS AREA AS NOTED	(G)	CONCRETE
CONCRETE	(C)	CONCRETE

**BASIS OF BEARINGS**

THE BASIS OF BEARINGS FOR THIS SURVEY WAS BASED UPON THE FOUND MONUMENTS AT THE CORNERS OF THE SUBJECT CURVE LOCATED AT THE NORTHEAST CORNER OF PARCELS 2 OF PAR 1 AND 2 OF TABLE A, HEREON. THE CALCULATED BEARING BETWEEN THESE FOUND CORNERS BEING N232°52'7\".

**SURVEYOR'S CERTIFICATION**

IT IS TO BE CERTIFIED THAT THIS MAP OF PLAT AND THE SURVEY ON BE WHICH WERE MADE IN ACCORDANCE WITH THE SURVEYING ACTS ESTABLISHED AND ADOPTED BY ALI AND ASSESS, AND INCLUDING LEGAL NOTICE, AND THE CALCULATED BEARING BETWEEN THESE FOUND CORNERS BEING N232°52'7\".

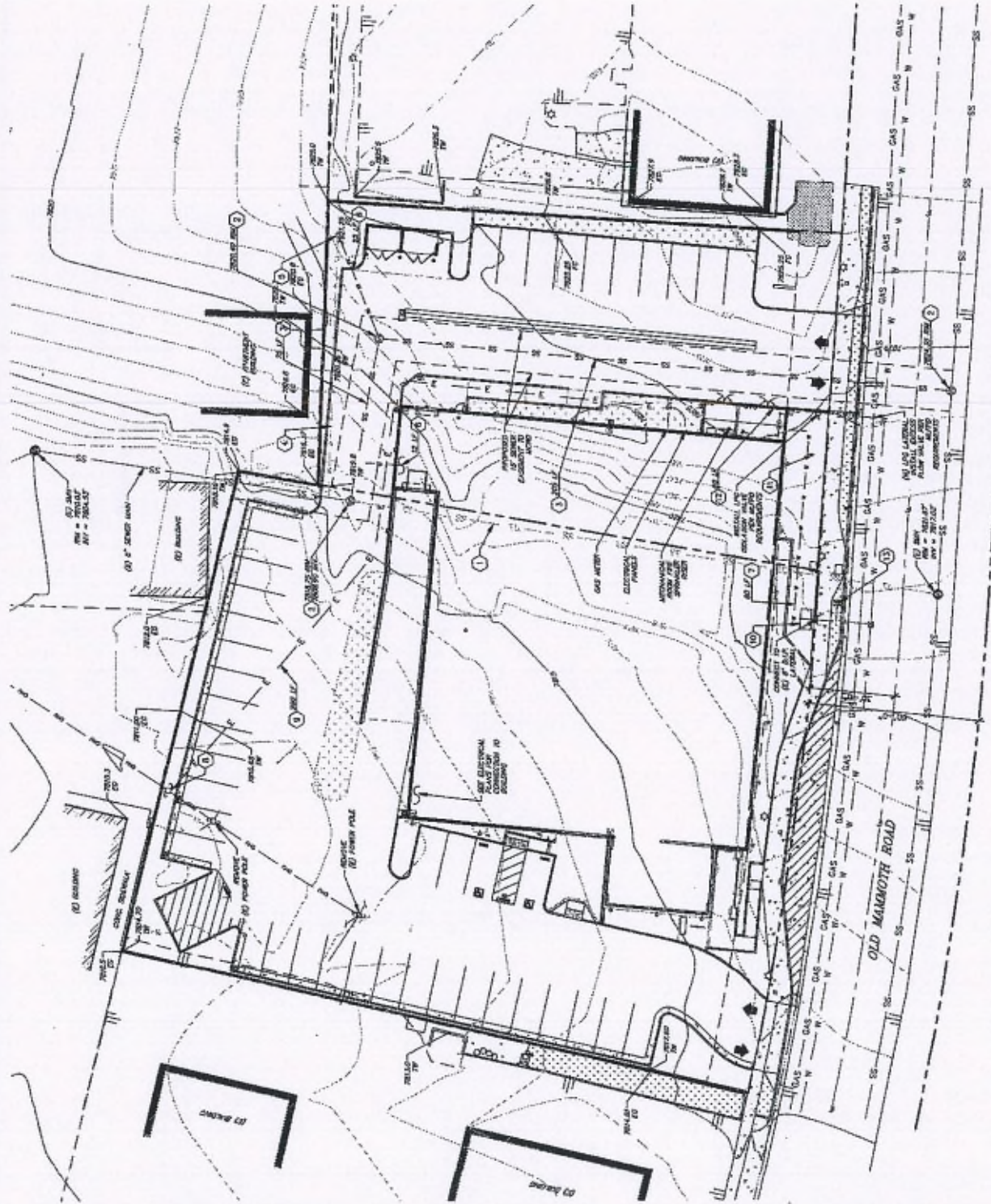
THURSDAY 16 AUGUST 15 2016  
 D.C. 6/20/17



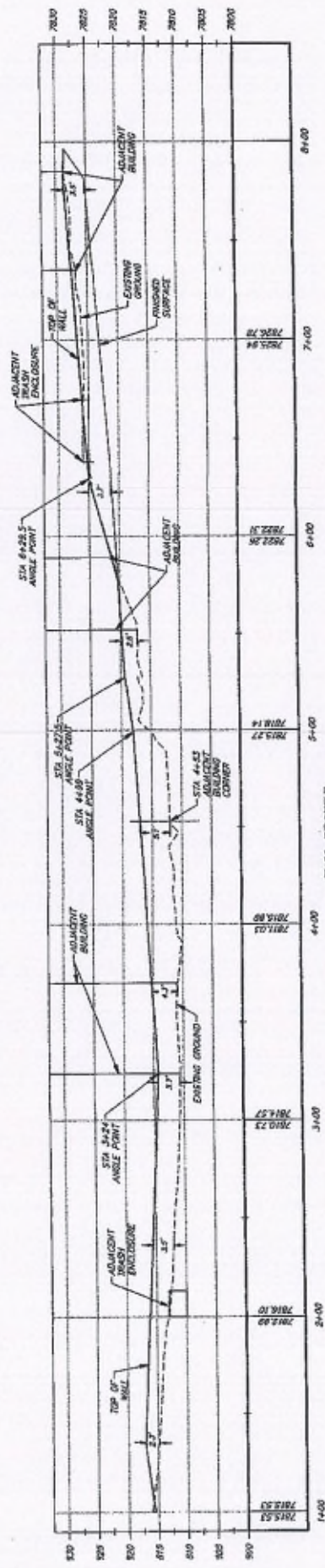
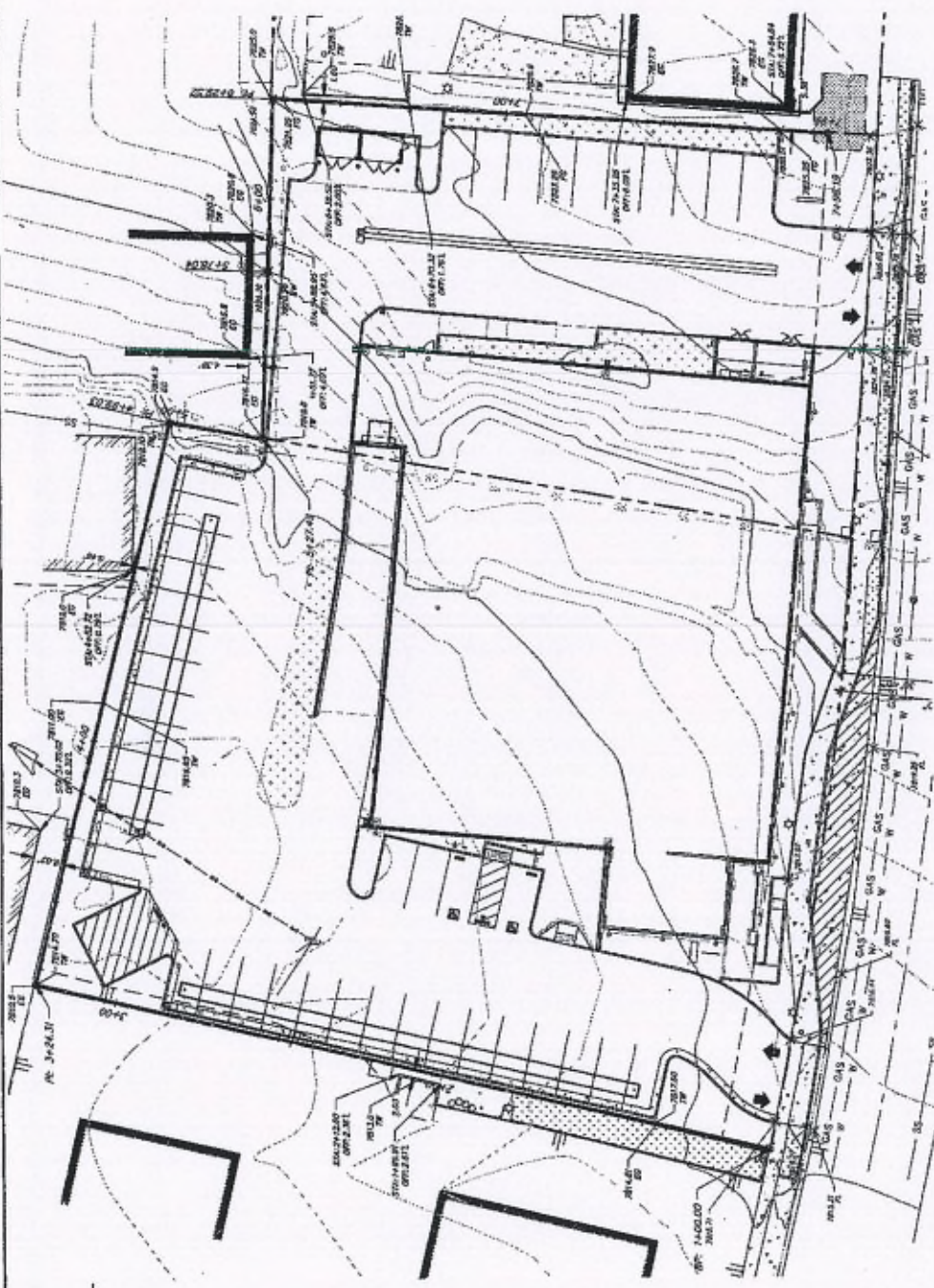


**CONSTRUCTION NOTES**

1. REMAINS REMAIN AS EXISTING UNLESS INDICATED OTHERWISE BY THIS PLAN
2. CONSTRUCT NEW SERVICE LINES
3. CONSTRUCT NEW 4" RIBBED IRON CONCRETE
4. REMAINS PORTION OF EXISTING SERVICE LINES
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SCALE: 1" = 50'  
 CONTOUR INTERVAL: 1'  
 GRAPHIC SCALE  
 (1" = 50 FT)  
 1" = 50 FT



WALL PROFILE  
 HORIZONTAL SCALE: 1"=30'  
 VERTICAL SCALE: 1"=10'



- SCREEN TREES (15 GAL - 24" DBH)**
- PINUS NIGRA / AUSTRALIAN PINE
  - QUERCUS OBANDEYATUM / ROCKY OAK
  - PRUNUS VIRGINIANA / CANADIAN CHERRY
  - CELTIS RETICULATA / WESTERN HAWK

- ACCENT TREES (15 GAL - 24" DBH)**
- PINUS MUGO / MOUNTAIN PINE
  - MALUS SPP. / CRABAPPLE VAR.
  - PINUS ARISTATA / BRISTLEcone PINE
  - CECIS CANADENSIS / EASTERN RED CEDAR

- BACKGROUND SHRUBS (15 GAL)**
- PEROVSKIA ATRIPICIFOLIA / RUSSIAN SAGE
  - CORNUS STOLONIFERA / REDTIDY BUSH
  - EDONANDRA ALATA / SPINNING BUSH
  - PRUNUS VIRGINIANA / WESTERN CHERRY

- MID-GROUND SHRUBS (5 GAL)**
- CAJAMPAGROSTIS VAR. FORMOSYTERI
  - CAJAMPAGROSTIS CHRYSAEUM / FATH BURNING BUSH
  - ARTEMESIA ARBENTUMUM / HORSEWEED
  - POTENTILLA FRUTICOSA / CINQUEFOID

- SPREADER / GROUND COVER SHRUBS**
- HELECTROCHOEN BERBERWERTSI
  - BOULEDOIA GRACILIS / BLUE CHINA
  - SORBUS ALBA / WHITE MESA
  - SPASTUM TOMENTOSUM / SNOWY FLOUNDER
  - COTONEASTER HORIZONTALIS / ROCK SPRING CREEPER

- ACCENT SHRUBS (10 GAL)**
- FESTUCA GLAUCA / BLUE FESCUE / BLU GRASS
  - HEMEROCALLIS SPP. / DAYLILY VAR.
  - HEUCHERA SANGUINEA / CORAL BELLS
  - PINUS MUGO / MOUNTAIN PINE
  - SEDUM OSTEOSANTUM / STONECROP

**PLANTING:**  
ALL PLANTING AREAS TO RECEIVE 2" DECOMPOSED GIRA GROUND COVER.

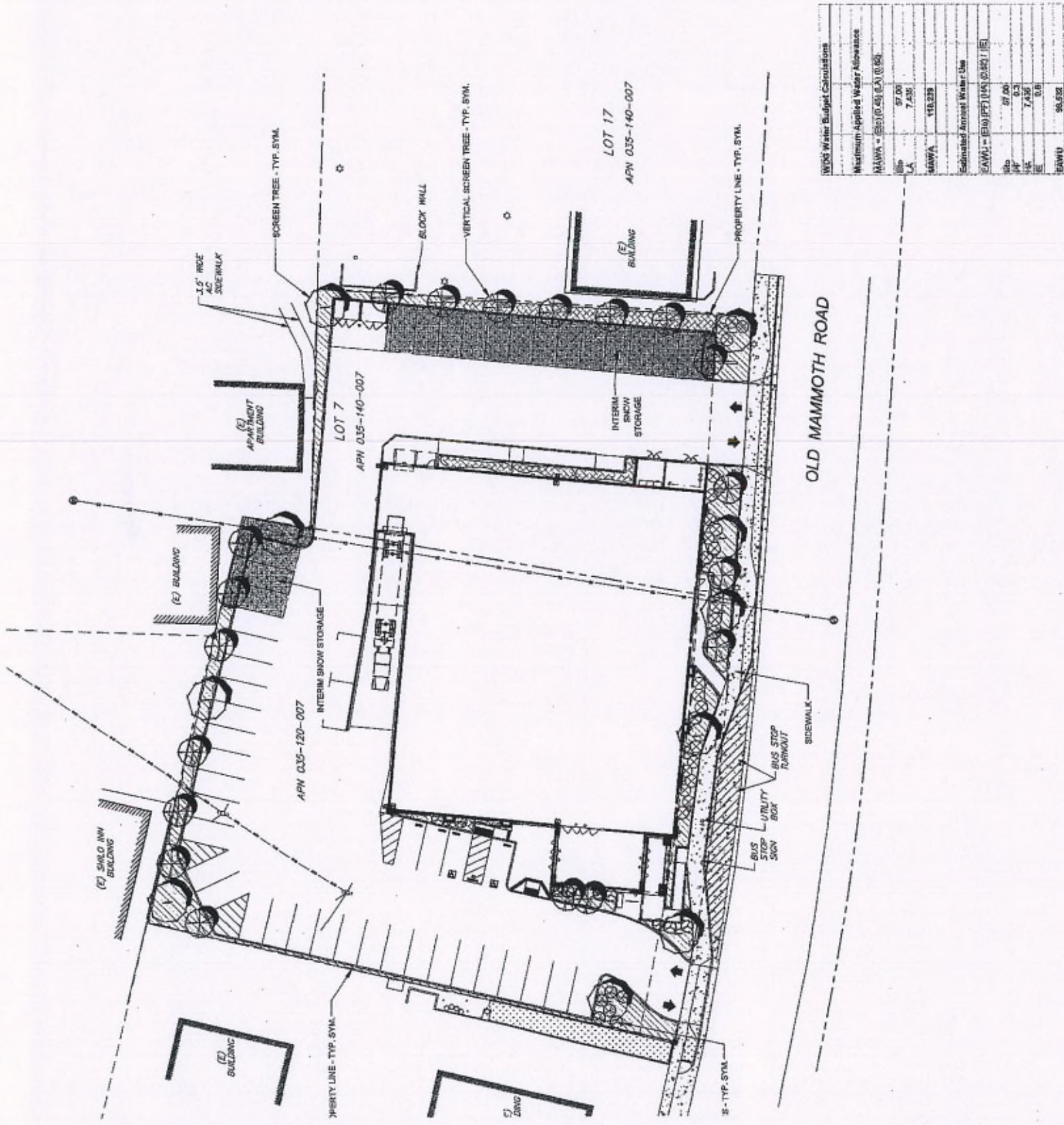
- NOTES:**
- PROPOSED PLANT MATERIAL IS DROUGHT TOLERANT A TO THE LOCAL ECOSYSTEM
  - REFERENCES USED FOR LANDSCAPE PLAN DEVELOPMENT:
    - DROUGHT TOLERANT PLANT GUIDE FOR MAMMOTH
    - PLANTS OF MAMMOTH MOUNTAIN
    - MAMMOTH COMMUNITY WATER DISTRICT PLANT LIST
    - SUNSET WESTERN GARDEN BOOK
  - PROPOSED LANDSCAPE WILL BE IRRIGATED WITH LOW IRRIGATION EQUIPMENT AND CONTROLLED BY AN AUTOM IRRIGATION CONTROLLER WITH AN ET/WATER SENSOR AUTOMATIC RAIN SHUT-OFF DEVICE.

**IRRIGATION:**

- RAINFED SUBSURFACE TUBING ALL LANDSCAPE ARE UNDER D.O.
- SUBIRRS AT ALL TREES.
- PROPOSED LANDSCAPE WILL BE IRRIGATED WITH LOW IRRIGATION EQUIPMENT AND CONTROLLED BY AN AUTOM IRRIGATION CONTROLLER WITH AN ET/WATER SENSOR AUTOMATIC RAIN SHUT-OFF DEVICE.

**IRRIGATION SYSTEM NOTES:**

- A WATER BUDGET SHALL BE DEVELOPED FOR LANDSCAPE THAT CONFORMS TO THE LOCAL WATER EFFICIENT LANDS ORDINANCE OR TO THE CALIFORNIA DEPARTMENT OF WATER MODEL WATER EFFICIENT LANDSCAPE ORDINANCE CODE 1.
- WATER SERVICE FOR LANDSCAPE AREAS BETWEEN 1.00 SQUARE FEET SEPARATE METERS OR SUBMETER SHALL BE FOR INDOOR AND OUTDOOR POTABLE WATER USE. CODE 1.
- AUTOMATIC IRRIGATION CONTROLLERS THAT ARE WEAT MOISTURE BASED SHALL BE INSTALLED AT THE TIME OF FC CODE 5.304.3.1
- SPRINKLING SHALL BE DESIGNED TO PREVENT OVERSP STRUCTURES. CODE 5.407.1



**Water Budget Calculations**

Category	Value
Maximum Applied Water Allowance	NAWA = (E)(0.45)(E)(0.8)
IR	57.00
LA	7.43
NAWA	118.23
Submitted Annual Water Use	EAUWU = (E)(0.77)(118)(0.80)(1.1)
IR	57.00
LA	6.3
EAUWU	74.36
IR	0.6
EAUWU	96.52



MAIN BUILDING COLOR  
BENJAMIN MOORE PAINT  
COLOR: CARAMEL APPLE # 1142

87 OLD MAMMOTH ROAD,  
MAMMOTH LAKES

METAL SALES STANDING SEAM  
METAL ROOFING  
COLOR: RED #21

SECONDARY BUILDING COLOR  
BENJAMIN MOORE PAINT  
COLOR: MIDLIBERY BROWN # 1072

HARDIE STUCCO VERTICAL SIDING  
FIBER CEMENT  
PAINT COLOR: CARAMEL APPLE # 1142

ACCENT BUILDING COLOR  
BENJAMIN MOORE PAINT  
COLOR: DISAMBLE # 2140

# **Attachment 3**

**Certificate of Compliance for Lot Line Adjustment 16-002**

EXHIBIT "A"  
LOT LINE ADJUSTMENT 16-002  
LOT MERGER  
LEGAL DESCRIPTION  
LOT LINE ADJUSTMENT PARCEL 1

THAT certain real property located in the Town of Mammoth Lakes, County of Mono State of California, said real property also being a portion of Lot 27 of the subdivision map entitled "SIERRA PARK", recorded in Book 5 of Maps at Page 33 in the Office of the County Recorder of said County and said real property also including a portion of Section 35, Township 3 South, Range 27 East, Mount Diablo Meridian, and finally said real property also being more particularly described as follows:

BEGINNING at the northwest corner of Lot 7 of said subdivision map, said northwest corner also being a point on the south line of said Lot 27, and said northwest corner also being a point on the east right of way line of Old Mammoth Road as shown on said subdivision map;

THENCE along said east right of way line, North 04°03'16" East, 12.00 feet to the beginning point of a tangent curve, concave easterly and having a radius of 1,220.00 feet; THENCE northerly along said curve and said east right of way line, through a central angle of 08°15'12", an arc length of 175.74 feet to the southwest corner of Parcel 1 of Parcel Map No. 36-22 as shown on the map recorded in Book 1 of Parcel Maps at Page 13 in the Office of said County Recorder;

THENCE along the south line of said Parcel 1 and Parcel 2 of said Parcel Map No. 36-22, South 77°09'32" East, 224.78 feet to the southeast corner of said Parcel 2, said southeast corner also being a point on the west line of Parcel 1 of Parcel Map No. 36-46 as shown on the map recorded in Book 1 of Parcel Maps at Page 65 in the Office of said County Recorder;

THENCE along said west line of Parcel 1, South 13°26'31" West, 175.89 feet, more or less, to the southwest corner of said Parcel 1, said southwest corner also being a point on the north line of said Lot 4;

THENCE along the north line of said Lot 4 and the north line of said Lot 7, North 80°11'52" West, 207.11 feet to the POINT OF BEGINNING.

TOGETHER WITH Lot 7 of the subdivision map entitled "SIERRA PARK", recorded in Book 5 of Maps at Page 33 in the Office of the County Recorder of said County.

CONTAINING 59,671 square feet of land, more or less.



Legal Description Prepared  
Under the Supervision of:

*Andrew K. Holmes*

Andrew K. Holmes, LS 4428  
Lic. Expires 9/30/17

Recording Requested by and )  
When Recorded Mail To: )  
Town of Mammoth Lakes )  
Community & Economic Development Department )  
P.O. Box.1609 )  
Mammoth Lakes, CA 93546 )

Recordation fee exempt per Government Code §27383  
Space Above for Recorder's Use

**CERTIFICATE OF COMPLIANCE**  
(Section 66499.35 of the Government Code)

The Town of Mammoth Lakes has considered an application for Lot Line Adjustment 16-002 and has determined that the parcels described in Exhibit "A" are in compliance with the Subdivision Map Act and with the applicable provisions of the Mammoth Lakes Municipal Code. This Certificate of Compliance merges two parcels (APNs 035-120-007-000 and 035-140-007-000).

OWNER: Best Development Group, LLC

PROPERTY LEGAL DESCRIPTION: See Exhibit "A"

LOT LINE ADJUSTMENT SKETCHES: See Exhibits "B" and "C"

NOTE: The attached Legal Description and Lot Line Adjustment Sketches have been provided by Triad / Holmes Associates and neither the Town of Mammoth Lakes nor its employees assume responsibility for the accuracy of the Legal Description and the Lot Line Adjustment Sketches. This Certificate of Compliance shall in no way affect the requirements of any other County, State, Federal, or local agency development regulations for real property.

Sandra Moberly  
Community & Economic Development Manager  
Town of Mammoth Lakes

Date

**EXHIBIT "A"**  
**LOT LINE ADJUSTMENT 16-002**  
**LOT MERGER**  
**LEGAL DESCRIPTION**  
**LOT LINE ADJUSTMENT PARCEL 1**

THAT certain real property located in the Town of Mammoth Lakes, County of Mono State of California, said real property also being a portion of Lot 27 of the subdivision map entitled "SIERRA PARK", recorded in Book 5 of Maps at Page 33 in the Office of the County Recorder of said County and said real property also including a portion of Section 35, Township 3 South, Range 27 East, Mount Diablo Meridian, and finally said real property also being more particularly described as follows:

BEGINNING at the northwest corner of Lot 7 of said subdivision map, said northwest corner also being a point on the south line of said Lot 27, and said northwest corner also being a point on the east right of way line of Old Mammoth Road as shown on said subdivision map;

THENCE along said east right of way line, North 04°03'16" East, 12.00 feet to the beginning point of a tangent curve, concave easterly and having a radius of 1,220.00 feet; THENCE northerly along said curve and said east right of way line, through a central angle of 08°15'12", an arc length of 175.74 feet to the southwest corner of Parcel 1 of Parcel Map No. 36-22 as shown on the map recorded in Book 1 of Parcel Maps at Page 13 in the Office of said County Recorder;

THENCE along the south line of said Parcel 1 and Parcel 2 of said Parcel Map No. 36-22, South 77°09'32" East, 224.78 feet to the southeast corner of said Parcel 2, said southeast corner also being a point on the west line of Parcel 1 of Parcel Map No. 36-46 as shown on the map recorded in Book 1 of Parcel Maps at Page 65 in the Office of said County Recorder;

THENCE along said west line of Parcel 1, South 13°26'31" West, 175.89 feet, more or less, to the southwest corner of said Parcel 1, said southwest corner also being a point on the north line of said Lot 4;

THENCE along the north line of said Lot 4 and the north line of said Lot 7, North 80°11'52" West, 207.11 feet to the POINT OF BEGINNING.

TOGETHER WITH Lot 7 of the subdivision map entitled "SIERRA PARK", recorded in Book 5 of Maps at Page 33 in the Office of the County Recorder of said County.

CONTAINING 59,671 square feet of land, more or less.



Legal Description Prepared  
Under the Supervision of:

*Andrew K. Holmes*

Andrew K. Holmes, LS 4428  
Lic. Expires 9/30/17

EXHIBIT "B"

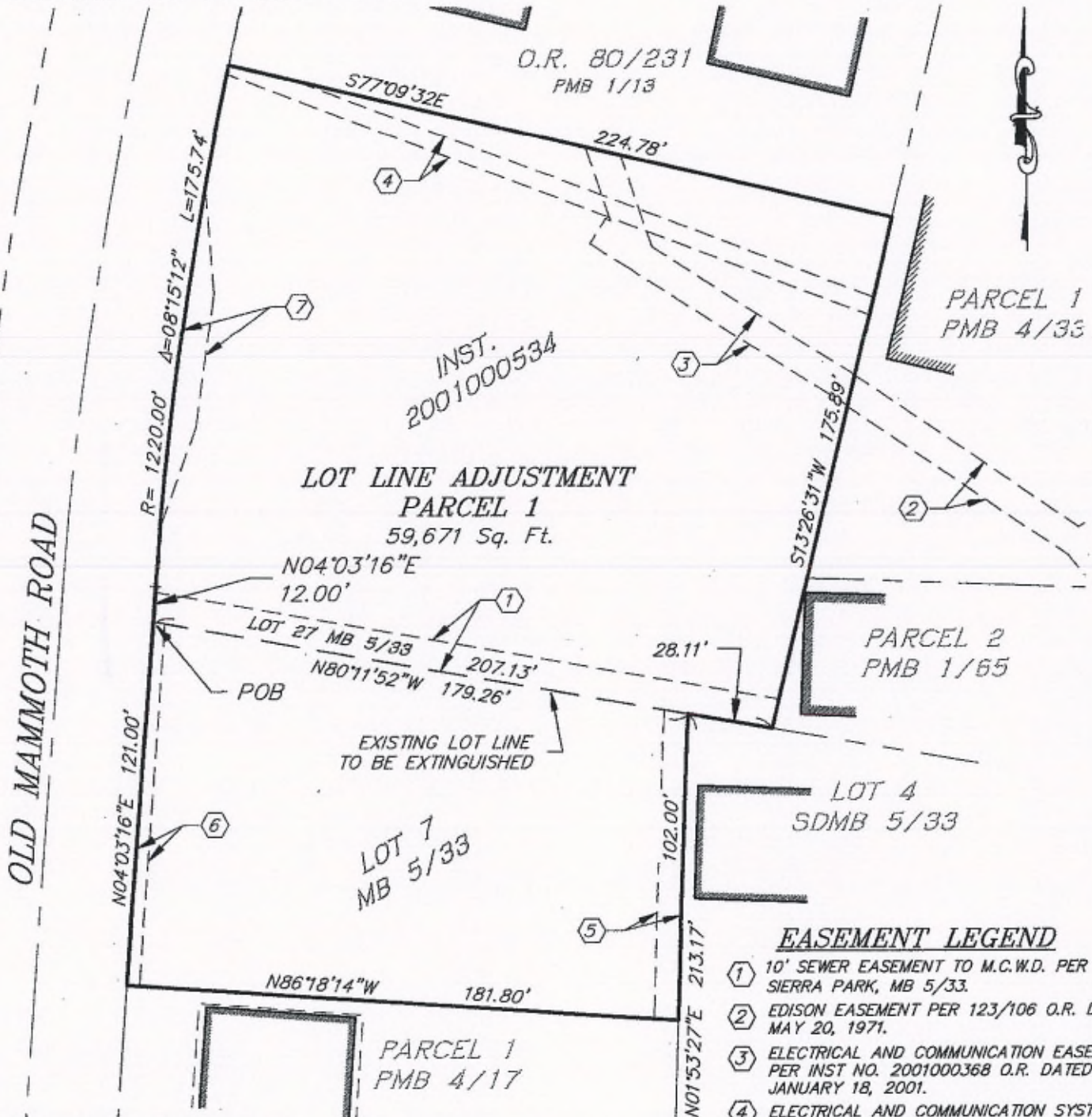
LOT LINE ADJUSTMENT 16-002

LOT LINE ADJUSTMENT/LOT MERGER SKETCH  
TOWN OF MAMMOTH LAKES, MONO COUNTY, CALIFORNIA

RECORDING INFORMATION:

LOT LINE ADJUSTMENT APPLICATION TO MERGE APN'S 35-120-07 & 35-140-07,  
NO STRUCTURES EXIST ON THESE PROPERTIES

SCALE: 1"=50'



**EASEMENT LEGEND**

- ① 10' SEWER EASEMENT TO M.C.W.D. PER SIERRA PARK, MB 5/33.
- ② EDISON EASEMENT PER 123/106 O.R. DATED MAY 20, 1971.
- ③ ELECTRICAL AND COMMUNICATION EASEMENT PER INST. NO. 2001000368 O.R. DATED JANUARY 18, 2001.
- ④ ELECTRICAL AND COMMUNICATION SYSTEMS EASEMENT PER INST. NO. 2003011288 O.R. DATED OCTOBER 9, 2003.
- ⑤ 8' SEWER EASEMENT TO M.C.W.D. PER SIERRA PARK, MB 5/33.
- ⑥ 4' EASEMENT FOR SIDEWALK TO MONO COUNTY PER SIERRA PARK, MB 5/33.

**UNLOCATABLE EASEMENT**

EASEMENT FOR OPERATION, CONSTRUCTION AND MAINTENANCE OF AERIAL AND UNDERGROUND TELEPHONE, TELEGRAPH AND COMMUNICATION STRUCTURES IN FAVOR OF CALIFORNIA INTERSTATE TELEPHONE COMPANY PER 79/391 O.R. DATED MARCH 10, 1966.

⑦ EASEMENT FOR STREET IMPROVEMENTS, SIDEWALK, BUS STOP, UTILITY, LANDSCAPE AND SNOW STORAGE PURPOSES IN FAVOR OF THE TOWN OF MAMMOTH LAKES PER INST. NO. 2003008581 O.R. DATED JULY 28, 2003.

2002.1 triad/holmes associates

EXHIBIT "C"

LOT LINE ADJUSTMENT 16-002

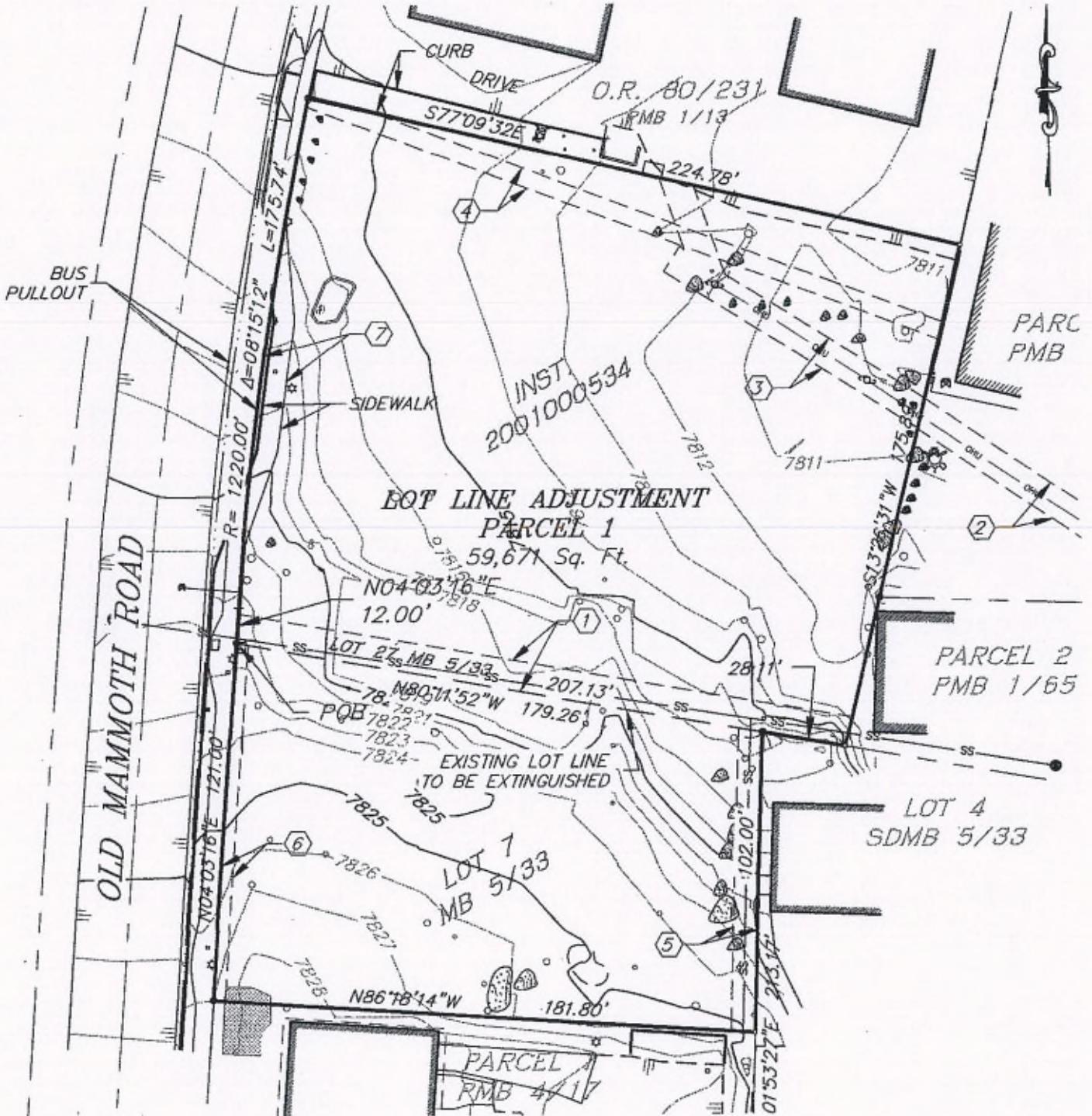
SITE PLAN

TOWN OF MAMMOTH LAKES, MONO COUNTY, CALIFORNIA

RECORDING INFORMATION:

LOT LINE ADJUSTMENT APPLICATION TO MERGE APN'S 35-120-07 & 35-140-07,  
NO STRUCTURES EXIST ON THESE PROPERTIES

SCALE: 1"=50'





## **Attachment 4**

**Design Committee Minutes from the December 20, 2016 and  
May 11, 2017 meetings**

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**PLANNING AND ECONOMIC DEVELOPMENT COMMISSION DESIGN COMMITTEE  
OF MAMMOTH LAKES**

**MEETING**

**Tuesday, December 20, 2016, 11:00 a.m.**

**437 Old Mammoth Road, Suite R**

**MINUTES**

**CALL TO ORDER**

**ROLL CALL:**

Committee members present: Commissioners Amy Callanan and Jennifer Burrows

Staff members present: Sandra Moberly (Economic and Community Development Manager) Nolan Bobroff (Assistant Planner); and Kimberly Cooke (Assistant Planner).

**PUBLIC COMMENTS**

None.

**BUSINESS MATTERS**

1. Review and Approval of the minutes from the October 17, 2016, meeting.  
*Moved to the end of the meeting.*
2. ADR 16-003 – Consideration of an Administrative Design Review (ADR) 16-003 for the construction of a 2,801 sq.ft. single-family home located within the Bluffs neighborhood, at 360 Pine Street. Staff contact: Kimberly Cooke, Assistant Planner (760) 965-3638.

*Kim Cooke, Assistant Planner, provided a summary of the application and circulated the proposed site plan and elevations to the Committee and staff. Mrs. Cooke displayed the proposed color and material board for the proposed single family home and introduced the applicant. The applicant, Robbie Presson, provided an overview of the project and described the proposed materials.*

*The Committee asked Mr. Presson questions related to matching the proposed paint color with a locally available paint source and asked if the proposed siding is a board and batten style. The applicant responded to the Committee's questions.*

*Kim provided the Committee with copies of the Visual Resources Mitigation Measures from the Bluffs EIR document. Mrs. Cooke explained that compliance with these measures are required in order to reduce visual impacts of new development within the Bluffs to as low a level as possible.*

*Ms. Cooke indicated that the location and overall design of the proposed single-family home meets the development standards required for the Rural Residential zone as well as the Visual Resource Mitigation Measures for the Bluffs neighborhood.*

*The Committee asked the applicant about the low roof pitch near the center of the building and Kim Cooke asked the applicant to clarify the location of the proposed black wood trim color.*

*The design committee indicated that they did not have any concerns regarding the proposed design and building materials and did not recommend any modifications to the proposed project.*

3. Consideration of a Major Design Review (DR) 16-012 for the proposed construction of a Grocery Outlet, a single-story, 18,000 sq.ft. grocery store proposed to be located at 37 & 77 Old Mammoth Road. Staff contact: Nolan Bobroff, Assistant Planner (760) 965-3631.

*Nolan Bobroff, Assistant Planner, presented a brief history of the Grocery Outlet site and proposed building design and HMR Architects (via telephone conference) presented a site plan and architectural drawings for the proposed development located within the Downtown zoning district. The Design Committee members discussed and asked questions in regards to the plans presented including specific questions related to the orientation of the structure and access during inclement weather, the number of parking spaces provided, and roof design.*

*The applicants provided responses to the Committee and indicated that the building orientation did take the location of Old Mammoth Road into consideration and that previous discussions with staff regarding the required number of parking spaces allowed for flexibility related to the back of house areas, which would not generate parking demand.*

*Staff asked questions of the applicants related to the exterior treatments applied to the building frontage in lieu of windows. Staff asked the applicants if other architectural treatments that could be used that would provide the required building transparency and commented that staff would like to see examples of building frontage treatments that have been used in other communities.*

*The applicants responded to staff's questions and indicated that windows were not incorporated along the entire frontage because of the shopping aisle configuration, but that they would provide some examples of other architectural treatments used elsewhere.*

*Staff asked the Committee to provide comments on the Building Design and proposed color scheme.*

*The Committee indicated that the proposed color palette appeared to be compatible with other development in the Community as staff had indicated that the colors were consistent with the Town's color handbook.*

*The Committee members indicated that their recommendations for design modifications at this stage were limited to a modification to the roofline at the south/west corner of the building. The Committee recommended the south/west section of the building be provided a pitched roof design to match the opposite side of the structure and also indicated that they would like to see other examples of exterior architectural treatments as discussed.*

*Nolan Bobroff, indicated that he would provide the applicant a letter outlining the main items discussed during the meeting and recommended modifications for the proposed Grocery Outlet.*

4. DR 16-013 – Consideration of Minor Design Review (DR) 16-013 to review proposed façade changes to the Best Western Hotel located at 3228 Main Street. Staff contact: Nolan Bobroff, Assistant Planner (760) 934-3631.

*Nolan Bobroff, Assistant Planner, presented the proposed minor façade remodel for the Best Western Hotel and described the proposed changes to the entry vestibule, a proposed outdoor seating area and fence.*

*The Design Committee members discussed the design elements and asked questions related to the proposed siding material.*

*The applicants responded to comments from staff and the committee via telephone conference.*

*The Committee members indicated that they were supportive of the design elements and indicated that they felt the proposed changes would be an improvement to the property and the appearance of the hotel.*

5. SP 14-00031 – Consideration of proposed amendments to the Master Sign Program for Sierra Center Mall located at 452 Old Mammoth Road. Staff contact: Nolan Bobroff, Assistant Planner (760) 934-3631.

*Nolan Bobroff, Assistant Planner, introduced the applicant who participated in the meeting via telephone conference call. Nolan presented the application and outlined the substantive changes to the current Master Sign Program.*

*The Design Committee members discussed the sign rendering and proposed amendments and asked questions in regards to the change in name of the center and the color of the tenant plaques shown on the monument sign rendering.*

*Staff asked questions of the applicant related to how individual tenant sign panels would be attached to the monument sign and asked if there would be any relief along the face of the monument sign.*

*The applicants responded to questions related to the monument sign and stated that the monument sign would likely be replaced within a short period of time, so it would not make sense to re-design the sign. The applicant indicated that it would be possible to use the unique font used by each tenant on the monument sign plaques in order to provide some character.*

*The Committee members expressed their preference that the unique font for each business is incorporated on the plaques for the monument sign.*

*Nolan summarized the wall sign size and location options for tenants including Mono County offices.*

*The Committee members indicated their support for approval of the Sign Program amendment with the modifications as discussed.*

Committee Member Burrows excused herself from the meeting at 1:00 p.m.

Review of the Design Committee meeting minutes from October 17, 2016, was continued to the next meeting.

## **ADJOURNMENT**

The meeting adjourned at 1:07 p.m.

Respectfully submitted,

Kimberly Cooke

Assistant Planner

**PLANNING AND ECONOMIC DEVELOPMENT COMMISSION DESIGN COMMITTEE  
OF MAMMOTH LAKES**

**MEETING**

**Thursday, May 11, 2017, 8:30 a.m.**

**437 Old Mammoth Road, Suite R**

**MINUTES**

**CALL TO ORDER**

**ROLL CALL:**

Committee members present: Commissioners Amy Callanan and Jennifer Burrows

Staff members present: Ruth Traxler (Associate Planner), Nolan Bobroff (Assistant Planner), and Haislip Hayes (Engineering Manager)

**PUBLIC COMMENTS**

None.

**BUSINESS MATTERS**

1. Review and Approval of the minutes from the.
  - a. October 17, 2016, meeting. *Approved*
  - b. December 20, 2016 meeting. *Approved*
2. Consideration of a Major Design Review (DR) 16-012 for the proposed construction of a Grocery Outlet, a single-story, 18,000 sq.ft. grocery store proposed to be located at 37 & 77 Old Mammoth Road. Staff contact: Nolan Bobroff, Assistant Planner (760) 965-3631. *(This was previously reviewed by the Design Committee at the December 12, 2016 meeting).*

*Nolan Bobroff, Assistant Planner, presented a brief history of the Grocery Outlet site and discussed the updates to the project design that had occurred since the previous Design Committee review of the project. The Design Committee members discussed the changes and were supportive of the design changes, with the understanding that the final design of the artwork on the side of the building would come back to the Design Committee for final review.*

*The Design Committee expressed concerns about the parking plan and the parking analysis. Haislip Hayes, Engineering Manager, indicated that the parking analysis did not address staffs concerns and indicated that there was potential for additional parking spaces on the site. Staff and the architect discussed adding spaces in the truck nose-in area; in the area parallel to the truck delivery ramp; and in the southwest corner of the site where the monument sign is shown. Staff suggested moving the monument sign west into the setback area. Additionally, staff suggested removing the peninsulas in the parking lot to facilitate snow removal and to re-orient the dumpster enclosure. The architect indicated that they would evaluate the additional areas and would provide a revised site plan, landscape plan, and civil drawings to reflect any changes. Staff requested a draft site plan once it was completed.*

*The Design Committee was supportive of moving the project forward to the PEDC for consideration with the conditions that (1) the final artwork for the building be reviewed by the Design Committee; and (2) that the final parking plan be approved by Staff prior to the meeting.*

3. SP 17-004 – Consideration of proposed signage for Shetler Distilling located in the Village at Mammoth at 100 Canyon Boulevard, Unit 217. Staff contact: Nolan Bobroff, Assistant Planner (760) 934-3631.

*Nolan Bobroff, Assistant Planner, introduced the item and discussed its conformance with the Village at Mammoth Master Sign Plan. Mr. Bobroff indicated that the maximum size allowed for fascia signs was 20 sq. ft. and that the sign size would need to be reduced.*

*The Design Committee was supportive of the design of the signage on the basis that the size be reduced so that it conforms with what is permitted by the Village Master Sign Plan.*

### **ADJOURNMENT**

The meeting adjourned at 10:00 a.m.

Respectfully submitted,

Nolan Bobroff

Assistant Planner

DRAFT

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# **Attachment 5**

## **Agency Comment Letters**

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Mammoth Community Water District  
P.O. Box 597  
Mammoth Lakes, CA 93546  
(760) 934-2596; fax (760) 934-2143



December 12, 2016

RE: Request for Comments, Grocery Outlet (DR 16-012 and LLA 16-002) at 37 and 77 Old Mammoth Road

**Via E-mail**

Nolan Bobroff, Assistant Planner  
Town of Mammoth Lakes  
Community Development Department  
P.O. Box 1609  
Mammoth Lakes, CA 93546

Dear Nolan:

Thank you for the opportunity to comment on proposed Grocery Outlet (DR 16-012 and LLA 16-002) at 37 and 77 Old Mammoth Road. The District has the following comments:

- A water and sewer Construction Permit is required for the conceptual proposed changes to MCWD facilities including the rerouting of the sewer that crosses the property.
- A water and sewer Connection Permit is required to connect the proposed project to the MCWD facilities for service.
- Applications for these permits can be acquired at the MCWD offices.

Sincerely,

John Pedersen, PE  
District Engineer



Mammoth Lakes Fire Protection District  
Post Office Box 5, 3150 Main Street  
Mammoth Lakes, CA 93546  
760-934-2300 Fax- 760-934-9210  
thom@mffd.ca.gov

May 23, 2017

Town of Mammoth Lakes  
Nolan Bobroff, Assistant Planner  
PO Box 1609  
Mammoth Lakes, CA 93546

Re: Grocery Outlet Parking Lot Design Review Comments

Thank you for the opportunity to comment on the newly revised parking lot configuration for the proposed Grocery Outlet Market located on Old Mammoth Road. The Fire District has the following comment.

The project proponent has worked with the configuration of the lot to maximize the number of parking spots and this action is appreciated. While there is no telling how attractive the store will be to shoppers at this point, the indications are that the store may be very busy. The adequate number of parking spots will resolve some traffic concerns/congestion for the area.

Thank you to the proponent and the town for working through this life safety matter. The Fire District is satisfied that the project has provided adequate parking numbers to meet the requirements of the zoning code, to the degree that the parcel will allow.

Sincerely,

A handwritten signature in black ink, appearing to read "Thom Heller", is written over a faint, larger version of the same signature.

THOM HELLER  
Fire Marshal

CC: Matthew Lehman



Mammoth Lakes Fire Protection District  
Post Office Box 5, 3150 Main Street  
Mammoth Lakes, CA 93546  
760-934-2300 Fax- 760-934-9210  
thom@mlfd.ca.gov

December 9, 2016

Town of Mammoth Lakes  
Nolan Bobroff, Assistant Planner  
PO Box 1609  
Mammoth Lakes, CA 93546

Re: Grocery Outlet Design Review/Lot Line Adjustment Comments

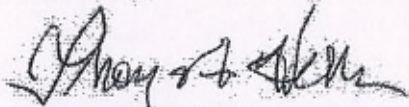
Thank you for the opportunity to comment on the design review for the proposed Grocery Outlet Market located on Old Mammoth Road. The Fire District has the following comments at this point:

1. The Fire District will require a set of construction plans and will issue a permit for the project.
2. Address for the property will change. Mono County IT will assign a more accurate address with the lot line adjustment.
3. During the evaluation, it was determined that an additional fire hydrant will be required on the market's side of Old Mammoth Road within 50 feet of the fire sprinkler room. The hydrant location will need to be added to the plans. The Fire District will occupy the driveway at the southwest corner of the structure, the outgoing lane of the driveway, in the event of an incident. Location identified on the attached diagram.
4. The project proponent needs to be aware that the north side of the structure will remain in the shade much of the winter and the main entrance will be icy. Roof gutters and drains on this side of the structure will also require a melt system to keep operational.
5. The architect for the project is calling out three required exits for the building size and occupant load. Identify the egress corridor from the market area that travels through the "stock area" and exits to the southeast corner of the building. Appropriate width and identified egress corridor will need to be maintained throughout the life of the project.
6. The structure(s) shall comply with the Town and Fire District LPG installation requirements. An isolation valve in the street and an excess flow/earthquake valve will be required as part of the installation.
7. The parking lot will need adequate lighting sufficient to provide for the safety of those using the lot and for emergency operations.
8. There will be a requirement for three Knox boxes, one located at each of the public exits.
9. An NFPA 13 compliant automatic fire alarm system will be required. The system will be required to be supervised and monitored. An exterior post indicator valve will not be required by the Fire District, but there shall be a shut off valve provided for in the Sprinkler Room. Sprinkler plans can be a deferred submittal.

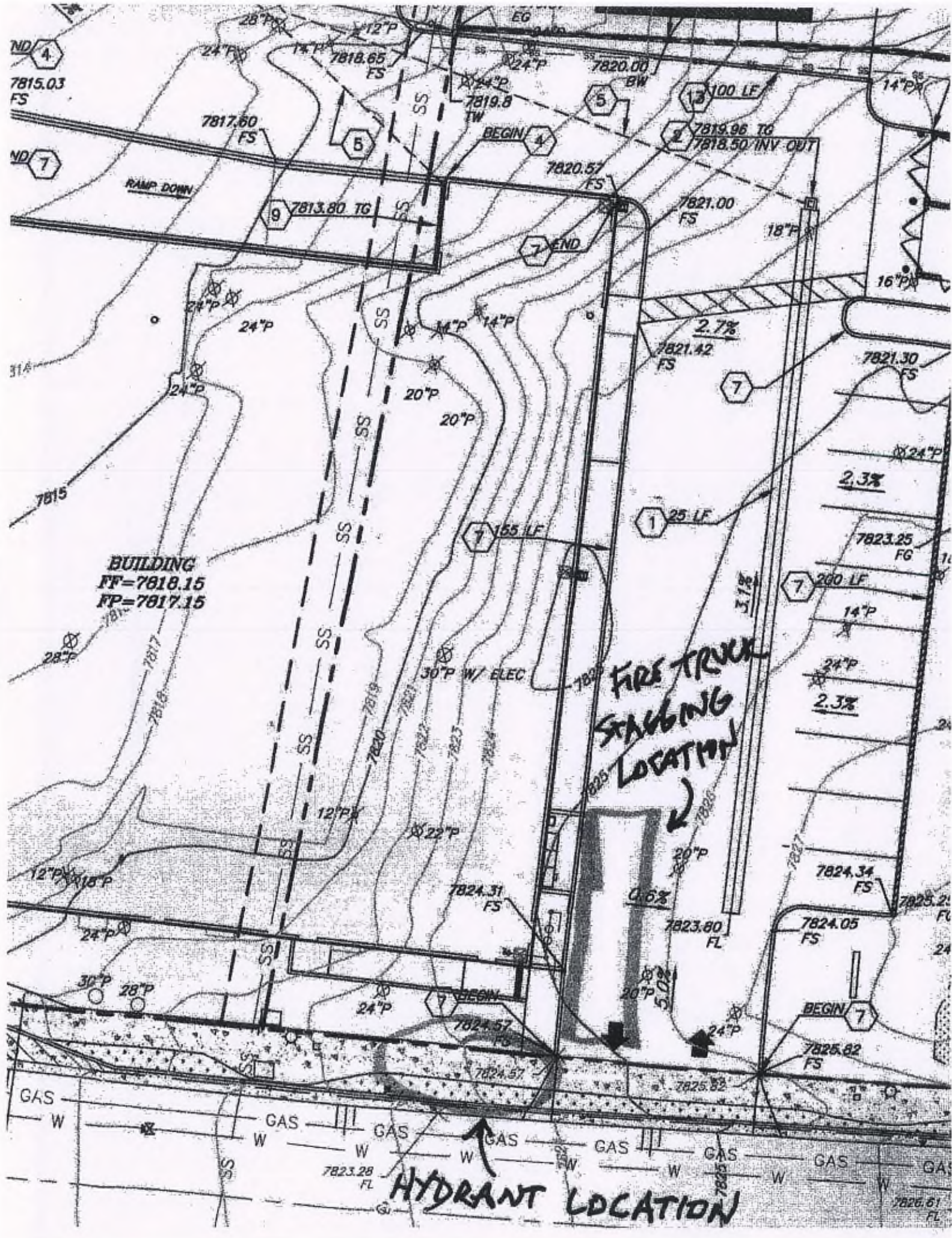
10. The interior path to the roof access doorway needs to be identified.
11. There shall be no exposed runs of propane line(s) on the roof. There will need to be a 90 degree shut valve within five feet of each appliance.
12. Further define any other occupancy types that may be used in the building. For example: will there be a kitchen/bakery area? Will there be high pile/rack storage? Will there be any sit down food service areas?
13. All exterior wood products must comply with the construction materials certified by the State Fire Marshal's Office in compliance with Chapter 7A of the California Building Code. Siding to be installed over 1/2" OSB or Plywood.
14. If vinyl framed windows are to be used, frames shall certified to comply with the AAMA/WDMA/CSA 101/I.S.2/A440 standard/specification or vinyl clad window frame of metal or wood. Regardless of what frame type is used, at a minimum, one pane in each exterior window/door shall be tempered.
15. A manual and automatic, fully addressable and electronically supervised fire alarm system will be required.
16. All fire department equipment rooms and utility rooms will need to be signed and identified.
17. Sheet C2 indicates that the propane gas line runs under the slab of the structure the full length of the building to reach the meter on the south side of the structure. This may need to be reevaluated.

The Fire District reserves the right to provide additional comments as additional plans are submitted. If there are any questions, please feel free to contact me at your convenience.

Sincerely,



THOM HELLER  
Fire Marshal



**BUILDING**  
FF=7818.15  
FP=7817.15

**FIRE TRUCK  
STAGING  
LOCATION**

**HYDRANT LOCATION**

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